



CITY OF LAWDALE

14717 Burin Avenue, Lawndale, California 90260
Phone (310) 973-3200 – www.lawndalecity.org

AGENDA

LAWDALE PLANNING COMMISSION MEETING

Wednesday, October 11, 2023 - 6:30 p.m.

Lawndale City Hall Council Chamber

14717 Burin Avenue

Members of the public may provide their comments when the public comment sections of the meeting are opened. Anyone unable to attend the meeting may submit their public comment by email to agutierrez@lawndalecity.org. Submit your written comments to the Community Development Department by 5:30 p.m. the day of the meeting. Electronic, or written, comments must identify the Agenda Item Number in the comment letter or the subject line of the email. The public comment period will close once the public hearing time for the agenda item has concluded. The comments will be entered into the record and provided to the Commission. All comments should be a maximum of 500 words, which corresponds to approximately 3 minutes of speaking time.

Members of the public are welcome to attend the meeting in person. If you are sick or experiencing symptoms of illness, refrain from entering any City facilities to prevent the spread of diseases.

Copies of this Agenda Packet may be obtained prior to the meeting by written request or on the [City Website](#). Interested parties may contact the Community Development Department at (310) 973-3230 for clarification regarding individual agenda items.

This Agenda is subject to revision up to 72 hours before the meeting.

A. **CALL TO ORDER**

B. **ROLL CALL**

C. **PLEDGE OF ALLEGIANCE**

D. **CONSENT CALENDAR**

1. **Minutes of the Lawndale Planning Commission Regular Meeting – September 13, 2023**

E. **PUBLIC COMMENTS**

Members of the audience may address the Commission on matters of public interest, which pertain to the City and are not otherwise listed on the agenda. If you wish to speak, please step forward to the microphone, but not required, state your name and city of residence, and make your presentation. The maximum time for the presentation is 3 minutes.

F. **PUBLIC HEARINGS**

1. **Case No. 23-17: Consideration of Special Use Permit and Design Review for a 9-unit Apartment Complex with 8 At Market Units and 1 Affordable Density Unit and CEQA Exemption, On Property Located at 4025 W. 169th Street.**

G. **REGULAR AGENDA**

None

H. ITEMS FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

1. **2024 Planning Commissioners Academy**
2. **Ethics Training**
3. **2023 Santa Sleigh Event**

I. ITEMS FROM THE PLANNING COMMISSION

J. ADJOURNMENT

The next regularly scheduled meeting of the Planning Commission will be held at 6:30 p.m. on Wednesday, October 25, 2023, in the Lawndale City Hall council chamber, 14717 Burin Avenue, Lawndale, California.

It is the intention of the City of Lawndale to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee or a participant at this meeting, you will need special assistance beyond what is normally provided, we will attempt to accommodate you in every reasonable manner. Please contact the Community Development Department at (310) 973-3230 prior to the meeting to inform us of your particular needs and to determine if accommodation is feasible. Please advise us at that time if you will need accommodations to attend or participate in meetings on a regular basis.

I hereby certify under penalty of perjury under the laws of the State of California that the agenda for the Planning Commission meeting to be held on October 11, 2023, was posted not less than 72 hours prior to the meeting.

Adrian Gutierrez,
Administrative Assistant II



**MINUTES OF THE
LAWDALE PLANNING COMMISSION REGULAR MEETING
SEPTEMBER 13, 2023**

A. CALL TO ORDER

Chairperson Price called the regular meeting to order at 6:31 p.m. in the Lawndale City Hall Council Chamber, 14717 Burin Avenue, Lawndale, California.

B. ROLL CALL

Commissioners Present: Chairperson Ni Kal S. Price, Vice Chairperson John Martinez, Commissioner Scott Smith, Commissioner Dr. Daniel Urrutia

Commissioners Absent: Commissioner Madonna Sitka

Other Participants: Assistant City Attorney Stephanie Gutierrez, Community Development Manager Jared Chavez, Associate Planner Jose Hernandez, City Manager Sean M. Moore, Municipal Services Director Michael Reyes, Code Enforcement II Officer Jamie Rodriguez, Sergeant Justin Smith, Assistant City Clerk Yvette Hall, Administrative Assistant II Adrian Gutierrez, Translator Alex Chaves

C. PLEDGE OF ALLEGIANCE

Chairperson Price led the flag salute.

D. CONSENT CALENDAR

1. Minutes of the Lawndale Planning Commission Regular Meeting – August 23, 2023

Vice Chairperson Martinez motioned to approve the minutes, with a second from Commissioner Urrutia. The motion was carried by a vote of 4-0 with Commissioner Sitka absent.

E. PUBLIC COMMENTS

None

F. PUBLIC HEARINGS

1. Case No. 23-15: Consideration to Revoke a Special Use Permit that Includes an Alcohol Sales and Entertainment Permit of an Existing Restaurant Located at 14620 Hawthorne Boulevard and Finding of Exemption from CEQA (continued from the August 23, 2023, regular meeting).

Community Development Manager Chavez introduced the item. City Manager Moore presented the item and provided background information. Sergeant Smith summarized the information relating to the thirty-five calls for service made regarding the complaints and violations from La Bamba. Director Reyes and Code Enforcement Officer II Rodriguez gave a brief history of the complaints received regarding the restaurant.

City Attorney Gutierrez addressed Translator Chaves to ensure that the hearing was being translated to the business owners and applicants.

Staff responded to the Commission's questions regarding definitions of a nightclub, items being served on the menu, how many police calls were initiated by the business owner and the community, and if the business can continue to operate if the Special Use Permit is revoked.

City Manager Moore indicated that the public hearing is to only revoke the Special Use Permit for the sales of alcohol and live entertainment. The business license for the restaurant will be investigated separately. Associate Planner Hernandez mentioned a comment he received from the business owner Jorge Sorto, via a phone conversation, indicating that Adela Sorto should be aware of selling hard alcohol and its consequences.

Chairperson Price opened the public hearing at 6:59 p.m.

Alicia Mendoza, the friend of business owner Adela Sorto, advocated for the business. She mentioned that there was confusion regarding the events that transpired. She also spoke about the type of alcohol they serve, the lack of notices regarding the complaints and violations, and how the business is important to the community. Lastly, she mentioned that the restaurant is Adela Sorto's only source of income.

Guillermina Hernandez, a worker for La Bamba, spoke about how important her job is for providing for her family.

Eric, a customer, spoke about the seating reservations.

Dario Areola, a resident of 154th Street, also spoke about the seating reservations, the importance the restaurant has in the community, and how he sees the restaurant staff as family.

Jose Arevalo, the restaurant's security guard, spoke about his employment history at the restaurant and how the restaurant has impacted his life.

Miriam Blandon, a customer, mentioned how her family convenes at the restaurant and urged the commission to not close the restaurant.

Luis Navarrete, Adela Sorto's husband, spoke about the changes in operations since receiving notice of the violations and the physical altercation that occurred on June 4, 2023.

Walter Ayala, a former resident, stated he used to live behind the restaurant and that loud music was not an issue. He also stated that the restaurant was a family-friendly place.

Gloria Alvarez, an employee for La Bamba, mentioned that there are two security guards staffed, not four. She also spoke about the June 17, 2023, incident relating to the tequila bottle that was photographed. She also mentioned that she depends financially on the business.

Alexander Morales, a former employee, also vouched that the restaurant is family-friendly and that the staff are like family.

Rolando Galdamez, a customer, spoke about why he visited the restaurant.

Margarita Mendez, an employee from La Bamba, spoke about the incident with the tequila bottle and that her livelihood also depends on the business.

City Manager Moore brought up the zoning code and public safety resources spent by the City to address the complaints and violations to protect the city's public safety.

Alicia Mendoza stated that the business owners never received citations regarding the violations and complaints. She also spoke about the possible effects on the surrounding area if the restaurant were to close.

Chairperson Price closed the public hearing at 7:57 p.m.

Chairperson Price asked if revoking the Special Use Permit would lead to the closure of the restaurant. City Manager Moore responded that the restaurant can still operate, however, they will investigate the business license.

Vice Chairperson Martinez asked if the business owner could re-apply for the Special Use Permit sometime in the future. City Manager Moore stated that they can.

City Attorney Gutierrez spoke about the opportunity for the business owners to appeal the Commission's decision.

Commissioner Smith motioned to approve Resolution 23-04 and Resolution 23-05, with a second from Vice Chairperson Martinez. The vote was carried 4-0 with Commissioner Sitka absent.

G. REGULAR AGENDA ITEMS

None

H. ITEMS FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

None

I. ITEMS FROM THE COMMISSION

Chairperson Price commented on the number of people in the audience, stating that La Bamba has support and that there is still an opportunity for the business.

J. ADJOURNMENT

Chairperson Price adjourned the meeting at 8:02 p.m. to the next regularly scheduled meeting to be held on Wednesday, September 27, 2023, at 6:30 p.m. at the Lawndale City Hall Council Chamber located at 14717 Burin Avenue, Lawndale, California.

Ni Kal S. Price, Chairperson

ATTEST:

Jared Chavez, Community Development Manager

DRAFT

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CITY OF LAWDALE PLANNING COMMISSION

STAFF REPORT

DATE: October 11, 2023

TO: Honorable Chairperson and Members of the Planning Commission

PREPARED BY: Jared Chavez, Community Development Manager 

RE: **CASE NO. 23-17 CONSIDERATION OF SPECIAL USE PERMIT AND DESIGN REVIEW FOR A 9-UNIT APARTMENT COMPLEX WITH 8 AT MARKET UNITS AND 1 AFFORDABLE DENSITY BONUS UNIT AND CEQA EXEMPTION, ON PROPERTY LOCATED AT 4025 W 169TH.**

PROJECT DESCRIPTION:

The applicant is seeking approval of a Special Use Permit, and a Design Review to develop 9 units. The project involves two parcels identified as APN(s): 4074-016-016 (4025 W 169th) & 4074-016-019 (no address), zoned R-2 (Two-family residence).

APPLICANT: Ike Mbelu

PROPERTY: Awad Investment LLC.

OWNER: 11986 Prairie Avenue, Hawthorne CA 90254

LOCATION: 4025 W 169th Street (the "Subject Property")

APN: 4074-016-019 and 4074-016-016

ZONE: R-2 (Two-family Residence) Zone

ANALYSIS:

Existing Site Conditions

The Subject Property is located at 4025 W. 169th Street and is within the R-2 (Two-family Residence) Zoning district. The site is an irregular shape lot that has an overall size that is approximately 15,358 square feet, which meets the Zoning Code's minimum area requirement for 6 dwelling units (2,500 sq. ft. per dwelling unit and one (1) additional attached or detached dwelling unit may be constructed for each 3,000 square feet of lot area more than 5,000 square feet). The applicant is requesting a density bonus of 50% to add 3 additional units. The applicant proposes a total of 9 units with 1 very low-income unit. The site is currently developed with an existing single-family

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residence which measures approximately 1,144 square feet and a detached garage. As a part of this application the existing unit and the detached garage will be demolished.

Surrounding Developments

The site is surrounded on the east, and north sides by residences which are zoned R-2 (Two Family Residence Zone), to the west is the 405 freeway and right of way and to the south is a commercial property that is zoned C-3 (Commercial zone). The properties surrounding the project to the east and north are developed with two (2) units; to the south of the property is a commercial gas station. The proposed construction of 9 apartment units with a tucked under common garage.

Public Improvements

The subject property is served by 169th Street, which is designated as a local street with a 50-foot right-of-way. The property is situated at the end of a cul-de-sac. Parking is permitted on the both sides of the street except during street sweeping. The nearest power pole serving the subject site is to the front of the property. This pole will remain and all utilities to the site will be required to be placed underground.

PROPOSED PROJECT:

Description of Proposed Dwelling Units

The Project involves the construction of 9 attached apartment homes/units with tucked under parking garage on the first floor. The proposed development will have a common driveway used to access the garage area. All 9 units will be built as part of one apartment building with amenities. Eight units will be 1,068 sq. ft. in size and one unit will be 1,585 sq. ft. in size. Unit 5 will have 3 bedrooms 3.5 bathrooms and all other units will be 2 bedroom 2.5 bathroom apartments. The development will be three stories and have a height of approximately 30' feet.

Compliance with Development Standards

The Project is subject to the development standards of the R-2 Zone as set forth in the Lawndale Municipal Code (LMC). The following matrix identifies the development standards and proposed development characteristics.

Development Standards	Required	Proposed	Compliance
	2,500 sq. ft./ unit +3,000 for additional units	8 units on a 15,358 sq. ft. lot	
Density	5,000 sq. ft. minimum lot size	1- Density Bonus unit	Yes
Front Yard Setback	20 feet	20 feet	Yes
		5 feet (East side)	Yes
Side Yard Setback	5 feet	5 feet (West side)	Yes
Rear Yard Setback	Average of 10 feet	10 ft.	Yes

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Height	30 feet maximum	30 feet	Yes
# of Parking Spaces	2 per unit within a garage	2 per unit within a common garage	Yes
# of Visitor Spaces	1/2 space per unit	4 spaces 2 Handicap	Yes
Private Open Space			Yes/ W concession
Unit 1	150 sq. ft. per unit	58 sq. ft.	No
Unit 2	150 sq. ft. per unit	58 sq. ft.	No
Unit 3	150 sq. ft. per unit	58 sq. ft.	No
Unit 4	150 sq. ft. per unit	58 sq. ft.	No
Unit 5	200 sq. ft. per unit	58 sq. ft.	No
Unit 6	150 sq. ft. per unit	58 sq. ft.	No
Unit 7	150 sq. ft. per unit	58 sq. ft.	No
Unit 8	150 sq. ft. per unit	58 sq. ft.	No
Unit 9	150 sq. ft. per unit	120 sq. ft.	No
Common Open Space	200 sq. ft. per unit (1,800)	1,945 sq. ft.	Yes

The R-2 (Two-family Residence) Zone permits more than one dwelling unit on a lot or parcel of land as long as the property does not have less than 5,000 square feet of net land area and the project density shall not exceed one dwelling unit for each 2,500 square feet of net land area and one additional unit may be constructed for each 3,000 square feet of lot in excess of 5,000 square feet. The subject project site is 15,358 square feet in size, which complies with the R-2 zone's minimum lot size for the development of 8 dwelling units on a single parcel plus one (1) density bonus unit. The proposed lot coverage is 68%, which requires a concession to exceed the allowable maximum 60% lot coverage allowed pursuant to the LMC.

Setbacks

Building setbacks must comply with Section 17.48.130 (Setback requirements) of the LMC. All setbacks meet or exceed requirements as follows:

- West (Side): 5 feet
- East (Side): 5 feet
- South (Front) 20 feet
- North (Rear): 10 feet

As proposed the development meets and/or exceeds all mandatory setback clearance areas.

Parking

Section 17.48.140 of the LMC, pertaining to residential parking requirements, states that each dwelling unit shall have two (2) parking spaces in a garage and one-half (1/2)

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visitor parking space must be provided for each unit. The applicant is proposing an attached two (2) car garage for each dwelling unit and three (3) guest spaces for the 9-unit development. In addition, the applicant is proposing to have 2 additional parking spaces. As proposed the project meets and/or exceeds the minimum standards for parking.

Private Open Space

Section 17.48.135 of the LMC regarding Open Space Requirements states that each dwelling unit shall have a minimum of 150 square feet of private usable recreation space for two-bedroom units and 200 sq. ft. for 3-bedroom units with minimum dimensions of 7 feet, unobstructed from the ground to the sky.

The applicant is proposing a concession to reduce the private open space as stated in the above-mentioned chart.

Common Open Space

Section 17.48.135 also requires 200 square feet of common open space per dwelling unit with no dimension less than 10 feet. Accordingly, the proposed development of 8 dwelling units would be required to provide a minimum of 1,800 square feet of common open space. The Applicant has provided landscaped common open space within the courtyard measuring approximately 1,946 square feet, which exceeds the City's common open space requirements.

Building Design and Site Improvements

The Applicant has incorporated design features into the building to provide sufficient interest on the building elevations that are visible from the public right-of-way. The design for the building façade includes components of the neoclassic architectural style typical in Southern California. In addition, the applicant will provide a hipped roof to match the surrounding neighborhood. Conditions of approval have been added to make sure the project matches the neighborhood's character and architecture.

The project is designed to have 50% of the front yard be landscaped with live vegetation, including a variation of plants, shrubs, and trees. Additionally, the front yard area will have a 20-foot-wide common driveway that leads to the entrance of garage areas towards the center of the property. The driveway will be required to be paved with a decorative material such as stamped/colored concrete or inlaid pavers and the Applicant shall be required to repair any cracked driveway aprons.

PUBLIC REVIEW:

Notices of a public hearing were posted on the bulletin board outside City Hall and published in the *Daily Breeze* on September 29, 2023. As of the writing of this staff report, no comments from the public have been received concerning the proposed ordinance.

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LEGAL REVIEW:

The City Attorney has reviewed and approved the staff report.

RECOMMENDATION:

IT IS RECOMMENDED THAT the Planning Commission:

- 1) Recommend the City Council find and determine that the draft ordinance is exempt from the California Environmental Quality Act ("CEQA") pursuant to Section 15061(b)(3) of the CEQA Guidelines.
- 2) Conduct a public hearing; and
- 3) Adopt Resolution No. 23-06, setting forth findings of fact and recommending that the City Council adopt the draft ordinance.

ATTACHMENTS:

- 1) Resolution No 23-06
- 2) Vicinity Map
- 3) Site plan

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ATTACHMENT "A"

Resolution No. 23-06

RESOLUTION NO 23-06
A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF LAWDALE, CALIFORNIA SETTING
FORTH FINDINGS OF FACT AND DETERMINATIONS
RELATIVE TO CASE NO. 23-17: SPECIAL USE PERMIT,
DESIGN REVIEW, AND APPROVAL OF CEQA
CATEGORICAL EXEMPTION

CONDITIONALLY APPROVED

WHEREAS, an application has been filed by the architect, Ike Mbelu (“Applicant”), for approval of a Special Use Permit, and Design Review (collectively, “Case No. 23-17”) for the construction of a 9 unit residential apartment unit development (“Project”) to be located at 4025 W. 169th Street in the City of Lawndale (“Property”); and

WHEREAS, the Property is zoned R-2 (Two-family Residence); and

WHEREAS, pursuant to Lawndale Municipal Code (“LMC”) §17.30.020(B), design review by the Planning Commission at a public hearing is required for any project that will result in two or more dwelling units located on a single parcel of land; and

WHEREAS, pursuant to LMC §17.28.020, approval of a Special Use Permit is required for a “Apartment houses” of three or more, project; and

WHEREAS, the Project will be developed in accordance with the standards set forth in the LMC and subject to the conditions deemed appropriate by the Planning Commission set forth herein; and

WHEREAS, LMC Section 17.48.120(B)(4) allows two residential dwelling units on a parcel of land of not less than 5,000 square feet, provided that one additional dwelling unit may be constructed for each additional 3,000 square feet of on the parcel of land; and

WHEREAS, the maximum allowed dwelling units for the density in the R-2 on the 15,385 square foot Subject Property would be a maximum of 6 units; and

WHEREAS, as an incentive to produce affordable units, the Applicant has applied for a density bonus pursuant to the State Density Bonus Law (Gov. Code § 65915 *et. seq.*) and the density bonus provisions of the LMC (Chapter 17.50) to allow the construction of 3 additional dwelling units beyond what is otherwise allowed by the LMC in exchange for agreeing to deed restrict 1 units within the Project to rent by very low income households; and

WHEREAS, the Property is located on two parcels of land that combined contain 15,358 square feet of net land area; and

WHEREAS, the Project would consist of the construction of 9 apartment units on a parcel requiring a minimum of 15,358 square feet; and

WHEREAS, pursuant to LMC 17.50.100(A), the Applicant may request a site development standard modification of zoning requirement or architectural design requirements. Therefore the applicant is requesting an increase in lot coverage from 60% to 68% to accommodate the common open space and the parking garage area in order to meet the parking requirements; and

WHEREAS, pursuant to LMC 17.50.100(A), the Applicant may request a site development standard modification of zoning requirement or architectural design requirements. Therefore the applicant is requesting reduction in private open space to accommodate the units in an odd shaped lot; and

WHEREAS, the Project complies with all other developments standards as set forth in the LMC; and

WHEREAS, the Project involves the infill development of a housing project which is an activity that is Categorical Exempt from the California Environmental Quality Act (“CEQA”) pursuant to Section 15332; and

WHEREAS, Case No. 23-17 was properly noticed and set for public hearing before the Planning Commission on October 11, 2023; and

WHEREAS, evidence was heard and presented from all persons interested in affecting said proposal, from all persons protesting the same and from members of the City staff, and the Planning Commission, having reviewed, analyzed and studied said proposal.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAWDALE, CALIFORNIA DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. The recitals set forth above are true and correct and incorporated herein by this reference.

Section 2. That because the Project involves new infill construction of 9 unit residential apartment houses, units in a residential zone and has no potential to substantially impact the environment, a Categorical Exemption is hereby approved for the Project in accordance with Section 15332 (“In-fill Development Projects”) of the CEQA Guidelines. Staff is hereby directed to prepare and file a Notice of Exemption.

Section 3. In connection with the in-fill development Categorical Exemption (CEQA Guidelines §15332), the Planning Commission finds that the Project meets the following conditions:

A. *The Project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.* The Project consists of the construction of 9 apartment units. The Project is consistent with the applicable R-2 (Two-family Residence) zoning designation and regulations, which allows for 6 residential dwelling units on lots that have more than 15,385 square feet of land area. (LMC §17.48.160(B)(4)(b).) The proposed plans are in compliance with all of the

development standards of the R-2 zoning district. Additionally, the Project is consistent with Policy 6c, multi-family low density dwellings, of the Land Use Element and Goal 2, to provide adequate residential sites, of the Housing Element of the General Plan. The Project is consistent with the General Plan's goal to allow the development of Residential Multi-Family units on the subject site.

- B. *The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.* The Project occurs in and is substantially surrounded by an urbanized area within city limits on a site of less than five (5) acres. The Property is 15,358 square feet in area (approximately 0.35 acres).
- C. *The Project site has no value as habitat for endangered, rare or threatened species.* The Project site is located in a highly urbanized and densely populated area along the R-2 zoning district. The Project site is surrounded by urban or commercial uses which do not make the site conducive as a habitat for endangered, rare or threatened species.
- D. *Approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality.* The Project conditions of approval will ensure that the Project will not result in any significant effects related to traffic, noise, air quality, or water quality. These conditions will ensure that any impacts that could be detrimental to the public health, safety and welfare of neighboring properties are minimized through public improvements. There are no reasonably identifiable unusual circumstances that would cause significant effects on the environment.

Moreover, the Project does not meet any of the exceptions to the CEQA categorical exemptions found in CEQA Guidelines Section 15300.2. Specifically, the following: (i) the Project and successive projects of the same type will not result in cumulative impacts; (ii) there are no unusual circumstances associated with the Project creating the reasonable possibility of significant effects; (iii) the Project will not result in damage to scenic resources within an officially designated scenic highway; (iv) the Project is not located on a site that the Department of Toxic Substances Control and the Secretary of the Environmental Protection have identified, pursuant to Government Code section 65962.5, as being affected by hazardous wastes or clean-up problems; and (v) the Project will not have a substantial adverse change in the significance of a historical resource.

- E. *The site can be adequately served by all required utilities and public services.* All services and access to the proposed parcels meet local standards. Further, any conditions placed by local utilities or public services to adequately serve the Project are included within the conditions of approval.

Section 4. Pursuant to the special use permit requirements in LMC Section 17.28.014, in conditionally approving this application, the Planning Commission makes the following findings:

- A. *The granting of such special use permit will not be detrimental to the public health or welfare or injurious to the property or improvements in such zone or vicinity.* The Project

is consistent with the development standards of the R-2 zoning district. The development of a 9 apartment development will improve the physical appearance of the site.

- B. *The use applied for at the subject location is properly one for which a Special Use Permit is authorized.* LMC requires a Special Use Permit for the development of 9 apartment units in the R-2 Zone.
- C. *The site is adequate in size and shape to accommodate the Project and all yard, spaces, walls, fences, parking, loading, landscaping, and other features required to adjust the Project to the land and uses in the neighborhood.* The Property is comprised of two parcels that have an area of 15,358 square feet and are large enough to accommodate the proposed Project. In addition, the proposed plans are in compliance with all of the development standards of the R-2 zoning district.
- D. *The site abuts a local street adequate in width and pavement type to carry the kind of traffic generated by the Project.* The Property is located on 169th Street, which is a local street approximately 50 feet wide providing access to the major arterials of the City's street system, including Hawthorne Boulevard.
- E. *The granting of a Special Use Permit is consistent with the City's General Plan and its development policies.* This development is consistent with Policy 6c, multi-family low density dwellings, of the Land Use Element and Goal 2, to provide adequate residential sites, of the Housing Element of the General Plan. The Project is consistent with the General Plan's goal of allowing the development of Residential Multi-Family Low Density units on the subject site. Additionally, the proposed development is in accordance with the design guidelines and the development standards established in Title 17 (Zoning) of the LMC, including those set forth in LMC Section 17.80.070.

Section 5. Pursuant to the design review requirements in LMC Section 17.30.030, in conditionally approving this application, the Planning Commission makes the following findings:

- A. *The proposed development site plan and the building design features will integrate harmoniously and enhance the character and design of both the immediate neighborhood and the surrounding area.* The Project is consistent with the development standards of the R-2 zoning district and the scale and type of development in the vicinity is similar to other developed lots in the neighboring area.
- B. *The site plan and building design will improve the community appearance by preventing extremes of building bulk and mass.* The Project covers only 68% of the lot the applicant is requesting a concession to exceed the 60% maximum allowed.
- C. *The site plan and design of the buildings, parking areas, landscaping, illumination and other design features demonstrate that proper consideration has been given to both the functional aspects of the site development and the visual effects as seen from public spaces.* The site is efficiently laid out and allows for easy pedestrian and vehicular circulation. The structures design allows for air circulation throughout the site and natural illumination.

- D. *The site plan and building design substantially conform to the City's adopted design guidelines.* Currently, the City adopted design guidelines, the project must comply with the condition to redesign the project to have quality architectural style that will provide visual interest from a street facing view and will match the existing neighborhood. The site shall be configured with three (3) story building that is approximately 30' in height, which is consistent with the type and scale of homes that are within the surrounding neighborhood.

Section 6. The Planning Commission finds that the Project substantially conforms to LMC Section 17.30.040, Design Criteria, as follows:

- A. *The building height, bulk and other design features shall be proportionate to the site and the surrounding area.* The Project complies with all development standards for the R-2 zoning district. The proposed dwelling units have a proposed height of 30' which is the maximum height limitation. Additionally, the proposed development is proportionate to other residential dwellings within the surrounding neighborhood.
- B. *The site layout, orientation, and location of structures, and their relationship to one another and to open spaces, parking areas, pedestrian walks, illumination and landscaping should be interrelated and arranged to achieve a safe, efficient and harmonious development.* The site plan and design of the buildings, parking areas, landscaping, illumination and other design features demonstrate that proper consideration has been given to both the functional aspects of the site development and the visual effects as seen from public spaces. The site is efficiently laid out and allows for easy pedestrian and vehicular circulation.
- C. *The grading and development of sites should respect the qualities of the natural terrain and landscape—mature trees and other natural features.* The surrounding area is highly urbanized, relatively flat, and mostly devoid of “natural” features. Also, the Applicant will be required to submit a Grading and Drainage Plan to be reviewed and approved by the Building Division prior to issuance of building permits. Additionally, the Applicant must provide a landscape plan that demonstrates how vegetation will be planted throughout the site.
- D. *Building sites should be developed to achieve a harmonious relationship with existing and proposed adjoining developments.* The proposed residential dwelling units will be designed to complement each other in architectural style and the Project will be consistent with the residential character of the neighborhood. The proposed development site plan and the building design features will integrate harmoniously and enhance the character and design of both the immediate neighborhood and the surrounding area. The Project is consistent with the development standards of the R-2 zoning district and the scale and type of development in the vicinity.
- E. *Each building shall reflect due consideration of a total site design program that reflects quality contemporary design practices.* As illustrated on the elevation drawings for the Project, quality contemporary design practices will be utilized throughout the development. The building design will be an aesthetic improvement to the existing site and will complement the architectural styles found within the existing neighborhood.

- F. *The proposed project shall substantially comply with the design elements set forth in the city's adopted design guidelines.* The City adopted design guidelines; the buildings exhibit quality by having hipped roofs, smooth stucco finishes and varying projections along the front façade, and meet the residential design guidelines.
- G. *The mechanical equipment or machinery, trash storage areas and other exterior service areas shall be screened from view from all public spaces.* As proposed, the identified mechanical equipment and trash storage areas are screened from public view. Any utility meters or rooftop mechanical equipment will also need to be screened per the LMC and/or the conditions of approval placed on the Project.

Section 7. The Planning Commission hereby approves this Project, subject to the execution and/or fulfillment of the following conditions:

1. The Applicant shall submit a check to the City within five (5) days of approval of this Project, made payable to the Los Angeles County Recorder's Office, in the amount of \$75.00 for the filing of a Categorical Exemption pursuant to the CEQA.
2. Within thirty (30) days of approval of this Project, the Applicant and Property Owner shall certify his/her acceptance of the conditions placed on the approval by signing a notarized Affidavit of Acceptance stating that the he/she accepts and shall be bound by all of the conditions.
3. The Applicant shall submit the building construction documents to the City for plan check within one (1) year of approval of this Project. Failure to comply with this condition shall automatically render the Special Use Permit and Design Review approval null and void. All conditions of approval shall be satisfied within twenty-four (24) months of the approval of this Project. The Applicant may file for an extension of the Special Use Permit and Design Review approval provided that such application is properly filed with the City at least thirty (30) days prior to the expiration date.
4. The Project shall be developed in accordance with all applicable City, County, State and Federal regulations.
5. Approval of the Project does not authorize the Applicant or any employee, contractor, subcontractor, etc. to encroach upon adjacent properties.
6. Violation of, or noncompliance with, any of these conditions or other applicable provisions of the LMC shall constitute grounds for a code enforcement action.
7. Construction plans shall be submitted to the Community Development Department (Planning and Building Divisions), Public Works Department, and other agencies as required for review and approval prior to the issuance of any building permits.
8. Any minor changes made to the approved set of plans shall be reviewed and subject to the approval of the Community Development Director, inclusive of any façade changes.

9. Except as set forth in subsequent conditions, and subject to City department and public agency corrections and conditions, the Property shall be developed substantially in accordance with the application and plans submitted. Any major changes as determined by the Community Development Director must be brought back for review to the Planning Commission at the Applicant's expense.
10. The adjacent property owners shall be notified at least ten (10) days prior to any demolition, grading or construction on the Property.
11. The Applicant shall enter into and record a density bonus agreement with the City restricting the designated two density bonus units for a period of 55 years from initial occupancy of each restricted unit before a building permit will be issued.
12. The Applicant or property owner, and their successors, shall be responsible to locate and qualify buyers which meet the affordability restrictions and shall provide annual reports to the City regarding the occupancy of the restricted units. The affordable units must be leased pro rata with the leasing of the unrestricted units. This means that for every two unrestricted units rented the Applicant, or its successor, must lease a restricted unit before more unrestricted units may be leased. The Applicant shall pay the City's costs to verify the compliance with the affordability requirements.
13. The Applicant shall provide applicable documents evidencing the qualifications of the proposed buyers to the City for review. City may retain a third-party consultant to review and confirm the qualifications of the buyers and the sales price. The Applicant shall reimburse City for the costs of the third-party consultant.
14. The Applicant shall install new decorative masonry wall with decorative cap around the periphery of the property. Fences/walls in the rear and side yard setback area shall be 6 feet in height. A fence/wall in the front yard setback shall not be required but if installed it will need to comply with LMC Section 17.48.050, i.e. up to forty eight inches in height provided that any portion over thirty inches is see-through. The Applicant shall submit a fence permit application for all fences that are to be installed as part of this project.
15. All exterior light fixtures shall be directed onto the Property and no direct glare shall be visible from adjoining residentially zoned and/or developed properties. The maximum allowable illumination at the property line shall not exceed 0.5 foot-candles.
16. A landscape plan that complies with the requirements of LMC Section 17.88, Water Efficient Landscape, to the satisfaction of the Community Development Director, shall be approved prior to the issuance of building permits. Trees planted in the front yard setback shall be a minimum 36" box tree.
17. The Project shall comply with all Los Angeles County Fire Department conditions of approval.
18. The Applicant shall indemnify, defend, and hold harmless the City and its agents, officers and employees from or against any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul any approval by the City

concerning the Project or the City's refusal to issue Certificates of Occupancy for the Applicant's failure to comply with any of these conditions of approval. The City shall promptly notify the Applicant of any filed claim, action or proceeding and shall cooperate fully in the defense of the action.

19. The Project shall comply with all of the provisions of Title 13 of the LMC relating to public services and storm water management. The Project shall also conform to National Pollutant Discharge Elimination System (NPDES) standards and Standard Urban Storm Water Mitigation Plan (SUSMP) requirements, if applicable, prior to any grading operations.
20. All property drainage shall be directed to the street in a manner acceptable to the Building Official. The Applicant shall not block existing drainage from adjacent properties and must show sufficient elevations outside of the property and contour lines to allow the Building Official to ascertain that existing drainage from adjacent properties is not blocked and adequate retaining systems are installed.
21. The Applicant shall contact Golden State Water Company for review of the existing water main once LA County Fire Department has issued its fire protection requirements.
22. The Applicant shall request a cost estimate for water system modifications and project review prior to the start of construction from Golden State Water Company.

Public Works/City Engineer Conditions:

23. The Applicant shall submit an off-site improvement plan prepared by a registered Civil Engineer to the Public Works Department and pay all applicable fees in connection with the review thereof, prior to the issuance of a building permit.
24. The Applicant shall submit a demolition plan to the Public Works Department and pay all applicable fees in connection with the review thereof prior to the issuance of a demolition permit.
25. The Applicant shall submit a Grading and Drainage Plan prepared and signed by a registered civil engineer to the City's Building Division and pay all applicable fees in connection with the review thereof. The Applicant shall indicate the location of all on-site water mainlines and sewer laterals on the Grading and Drainage Plan. Such plans shall be reviewed and approved by the Building Official and City Engineer prior to issuance of building permits.
26. The Applicant shall submit a copy of the approved Grading and Drainage Plan to the Public Works Department prior to the issuance of a building permit.
27. The Applicant shall submit a Final Grading and Drainage Certificate to the Public Works Department prior to obtaining a certificate of occupancy, signed by a registered civil engineer, stating that the Project was constructed according to the approved Grading and Drainage Plan and that the Project drains to the street and does not block the cross-lot drainage from adjacent properties.

28. The Applicant shall verify and show that the Caltrans Right of Way ("ROW") does not drain into the subject Property. The Applicant shall provide elevations at 25 foot intervals in the Caltrans ROW as part of the grading and drainage topographic survey for verification. Depending on how the Caltrans ROW drains, the Applicant may be required to coordinate drainage improvements with Caltrans. The Applicant shall secure a letter of consent or Caltrans encroachment permit showing that the Project addressed all drainage within the Caltrans ROW.
29. The Applicant shall submit a copy of the final soils report to the Public Works Engineering Division prior to final approval from the Public Works Department. The report shall be prepared by a licensed geotechnical engineer.
30. The Applicant shall submit a copy of the Los Angeles County Fire Department clearance letter for Fire Department plan review to the Public Works Department prior to final approval from the Public Works Department.
31. The Applicant shall underground all dry utilities (electrical, telephone and cable TV) Accordingly, the Applicant shall contact the utility purveyors to arrange for the preparation of the necessary plans to accomplish the under grounding prior to receiving a certificate of occupancy.
32. Each unit shall be connected to a separate sewer lateral at a minimum size of six inches. A City approved contractor shall verify the size of such lateral and shall provide proof of its integrity by providing a videotape of the lateral to the Public Works/Engineering Division. Videotaping and verification of sewer lateral size and conditions must be made in the presence of the City Engineer or his/her designee. Any existing sewer laterals that are less than six (6) inches in diameter shall be abandoned at the property line per City instructions.
33. All required water meters, meter service changes and/or fire protection lines shall be installed by the developer. Any new water meters shall be installed in parkways.
34. The Applicant shall pay all applicable sewer connection fees to the County Sanitation Districts prior to final approval from the Public Works Department.
35. The Applicant shall remove and reconstruct damaged and substandard sidewalk fronting the Project site. All new sidewalk and driveway approaches shall comply with American with Disabilities Act.
36. The Applicant shall construct new drive approaches per the latest edition of the Standard Plans for Public Works Construction.
37. The Applicant shall remove all existing utility pavement markings from the sidewalk and street prior to issuance of a Certificate of Occupancy for the Project.
38. The Applicant shall establish survey markers and/or monuments at the Property's corners.

39. The Applicant shall replace survey monuments damaged or destroyed during construction. The Applicant's surveyor is responsible for filing Corner Records with the Los Angeles County Surveyor for all monuments disturbed as part of construction.
40. The Applicant shall not install water or utility pull boxes within the new driveway approach area.
41. The Applicant shall design the Project in a manner that prevents surface water from draining across the sidewalk.
42. All work in the public right-of-way shall be completed per the latest edition of the Standard Plans for Public Works Construction.
43. The Applicant shall re-grade the parkway and landscape with drought tolerant plants to the satisfaction of the City Engineer.
44. The Applicant shall obtain an encroachment permit from the Public Works Department prior to conducting any improvements off-site or in the public right-of-way.
45. Prior to the issuance of certificate of occupancy the Applicant shall replace any damaged street improvements such as sidewalk, curb and gutter or driveway apron. All street improvements shall be subject to the review and approval of the City Engineer.
46. Re-design and reconstruct cul-de-sac to eliminate V-gutter and transport stormwater along gutter at curb face to a reconstructed local depression at the storm drain catch basin."
47. The Applicant shall repair the parkway, including landscaping, along 4025 W. 169th Street in addition to the entire cul-de-sac circular turnaround at 169th Street in accordance with the City of Lawndale's parkway policy. New sidewalk shall comply with the latest edition of the Standard Plans for Public Works Construction and Americans with Disabilities Act ("ADA").
48. The Applicant shall abandon unused driveway approach and replace with new curb and gutter, parkway and sidewalk per the latest edition of the Standard Plans for Public Works Construction.
49. The Applicant shall provide a common trash enclosure for the proposed Project site. The Applicant shall provide an explanation and location of trash receptacle/ enclosures, and/or turning radius analysis that a trash truck can negotiate through the development. All trash operations shall comply with current waste reduction regulations.
50. The Applicant shall submit a hydrology and hydraulic study prepared by a registered civil engineer to the Public Works Department for review and approval prior to permit issuance.
51. The Applicant shall provide traffic control, construction personal parking plan and truck haul route plan to the Public Works Department prior to issuance of permit.

Additional Conditions:

52. The Applicant shall provide sufficient decorative outdoor lighting for all units, to the satisfaction of the Community Development Director.
53. The Electrical Panel (Box) may not encroach into any required driveway, parking area or side yard setback.
54. All exterior materials to be used shall be approved by the Community Development Director prior to the issuance of a building permit.
55. All second story scuppers must be directed onto the Property and installed in a manner acceptable to the Community Development Director.
56. All newly planted trees shall require root barriers.
57. All driveway and parking areas shall be concrete and the Applicant shall install a decorative stamped and color sealed concrete driveway along the first twenty feet of driveway to the satisfaction of the Community Development Director. The color and pattern shall be approved by the Community Development Director prior to installation.
58. No exterior security bars shall be allowed to be placed along buildings façade.
59. Driveway and parking areas shall incorporate center swales. All drainage in common and private use areas shall be underground and shall not incorporate open gutters or underground swales.
60. The location of all backflow devices shall be approved by the City prior to installation. Back flow devices shall be located to the furthest extent possible from the property line.
61. All building drainage shall be directed onto the Property and shall be oriented toward the interior of the Property, with no downspouts or gutters directing drainage away from the Property.
62. A maximum of 8 at market and 1 very low income apartment units shall be permitted within the Project.
63. The location of all electrical panels and meters shall be approved by the City prior to installation. Electrical panels and meters are prohibited in the front yard setback. Electrical panels and meters shall be screened with landscaping as approved by the City. Electrical panels may not encroach into any required driveway, parking area or side yard setback.
64. Except as set forth in the conditions of approval, development shall take place as shown on the approved site plans and elevations. Any deviation must be approved by the Director of Community Development before any construction occurs.

65. No exterior structural alteration or building color change, other than the colors or building treatments originally approved by this application, shall be permitted without the prior approval of the Director of Community Development.
66. The site shall be maintained by the property owners, at property owners' or their successors' or assignees in interest's sole cost and expense. The City shall have the right to enforce proper maintenance.
67. The entire site shall be kept in good, first class condition, free from trash, debris and litter at all times, and all trash, debris and litter shall be removed as soon as possible but at least within 24 hours.
68. All landscaping and irrigation systems shall be continuously maintained in good repair by the property owners or homeowners association. Irrigation systems shall not produce overspray. All landscaping shall be maintained in a healthy condition and dying and dead landscaping shall be promptly replaced with similar plant materials and of a size similar to the plant being replaced.
69. All planning conditions of approval shall be printed as general notes on the front pages of the approved set of building plans.
70. Tarps are prohibited from use as carports, patio covers, shade covers, and covers for outdoor storage in all front and side setback areas, rear yard areas, and over driveways and in parking and circulation areas.
71. The site shall be developed and maintained in accordance with the approved plans which include site plans, landscape plans, building floor plans, architectural elevations, list of approved exterior materials and colors on file in the Community Development Department, the conditions contained herein, and the Zoning Code.
72. Unless otherwise permitted, construction activity may be conducted between the hours of seven a.m. and seven p.m., Monday through Friday (except national holidays), and eight a.m. and five p.m. Saturdays. Construction activity is prohibited at all other hours and on Sundays and national holidays.
73. At the completion of the project, final approval from the Planning Division shall be obtained prior to Building and Safety Division final approval. All conditions of approval shall be met prior to final approval by the Planning Division.
74. The Project shall comply with all development standards set forth in LMC Section 17.80 pertaining to apartment unit developments.
75. The subject project shall meet all ADA standards. The applicant shall submit plans that show that ADA standards are met to the satisfaction of the Community Development Director.
76. The project shall be designed in accordance with the City's residential design guidelines.

77. The proposed project shall be designed to match the existing neighborhood's architectural style.
78. The roof shall be a hipped roof to match the neighborhood. No parapeted roofs will be accepted. A new design for the roof shall be reviewed and approved by the Director of Community Development.
79. The proposed project shall be painted with earthtone paint colors approved by the Director of Community Development.
80. Any new fencing and landscaping require an approved permit by Community Development.
81. The front façade of the proposed project must be redesigned to match the neighborhood.

PASSED, APPROVED AND ADOPTED THIS 11th DAY OF OCTOBER 2023.

Ni Kal S. Price, Chairperson

I, Jared Chavez Community Development Manager for the City of Lawndale, California, do hereby certify that the foregoing **Resolution No. 23-06** was duly approved and adopted by the Planning Commission of the City of Lawndale at a regular meeting of said Commission held on the **11th day of October 2023** by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Jared Chavez, Community Development Manager

AGENDA ITEM F - 1

ATTACHMENT “B”

Vicinity Map

VICINITY MAP

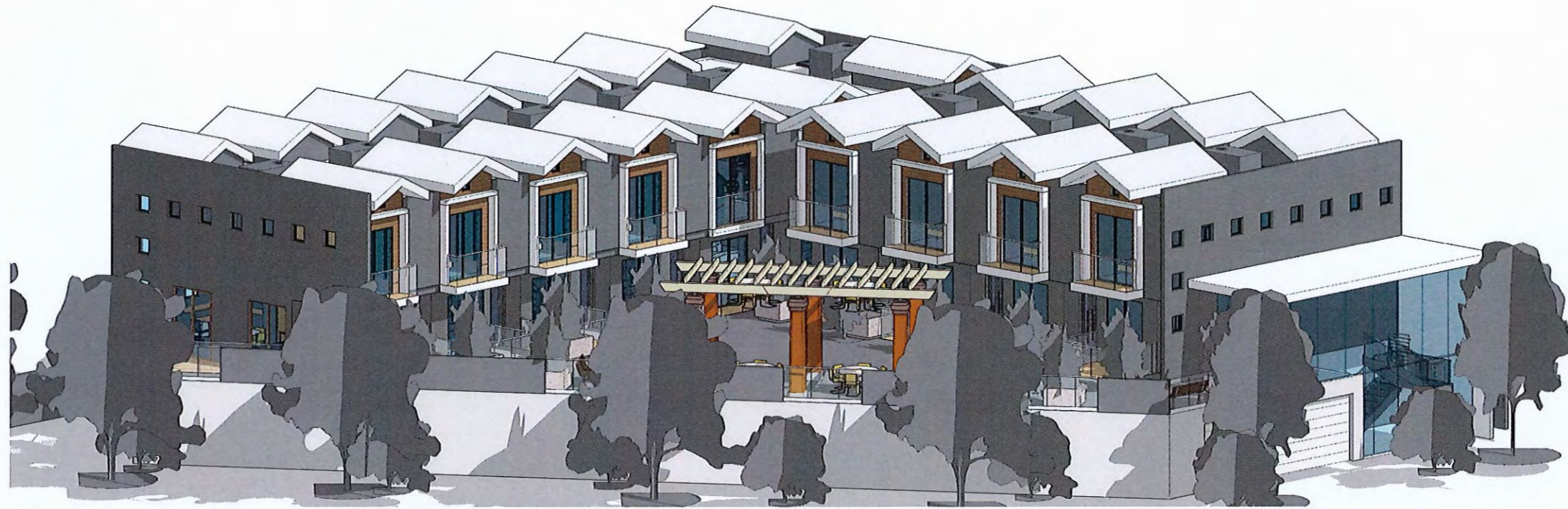


AGENDA ITEM F - 1

ATTACHMENT "C"

Architectural Plans

ONE SIX NINE LEGACY



11 UNIT APARTMENT DEVELOPMENT
4025 W. 169TH STREET, LAWDALE, CA 90260

PRELIMINARY / CONSTRUCTION PLAN SET
PLAN CHECK NO: ----- / SITE PLAN REVIEW NO: 23-65



ICON & IKON INC.
ARCHITECTS AND PLANNERS

14623 HAWTHORNE BLVD STE. 306
LAWDALE, CALIFORNIA 90260
PH: (424) 456 - 4811
WWW.ICONARC.COM

ONE SIX NINE LEGACY

A MODERN STYLE APARTMENT COMPLEX



ANOTHER PROUD DEVELOPMENT BY
AWAD INVESTMENTS, LLC
11916 PRIARIE AVE, HAWTHORNE, CA 90250



ICON & IKON INC.
ARCHITECTS AND PLANNERS
14023 HAWTHORNE BLVD STE. 306
LAWNDALE, CALIFORNIA 90250
PH (424) 455-4811
WWW.ICONARC.COM

STAMP



OWNER/TENANT

AWAD INVESTMENTS, LLC
11916 PRIARIE AVE
HAWTHORNE, CA 90250

ONE SIX NINE LEGACY
4025 169TH ST
LAWDALE, CA 90260

PROJECT INFORMATION

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[Symbol]	16" CONCRETE FLOOR	[Symbol]	TELEPHONE
[Symbol]	8" CONCRETE FLOOR	[Symbol]	TELEPHONE
[Symbol]	4" CONCRETE FLOOR	[Symbol]	TELEPHONE

GENERAL DRAFTING SYMBOL LEGEND

[Symbol]	WALL	[Symbol]	COLUMN LINE
[Symbol]	DOOR	[Symbol]	SCREEN DOOR
[Symbol]	WINDOW	[Symbol]	POCKET DOOR

STATE REQUIREMENTS

SECTION	DESCRIPTION
SECTION 1	CONSTRUCTION OF WALLS
SECTION 2	CONSTRUCTION OF ROOFS



CITY REQUIRED NOTES

AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM PER PER 2022 CALIFORNIA ELECTRICAL CODE... [Additional notes regarding fire safety and electrical requirements]

FIRE DEPARTMENT NOTES

ADDITIONAL SAFETY SURVEILLANCE SHALL BE PERFORMED BY THE 2022 CALIFORNIA FIRE CODE... [Additional notes regarding fire department requirements]

GENERAL NOTES

1. A CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS... [General construction notes]

REQUIRED AGENCY APPROVALS

AGENCY	STATUS	DATE
CONTRACT DEVELOPMENT PERMITS		
BUILDING DEPARTMENT		
ELECTRIC PERMITS		

SCOPE OF WORK

THE PROJECT WILL BE APPROXIMATELY 100,000 SQ FT, CONSTRUCTION OF A LEASABLE APARTMENT COMPLEX... [Detailed description of the project's scope of work]

SHEET INDEX

NO.	DESCRIPTION
01	PROJECT OVER SHEET
02	FOUNDATION
03	FLOOR SLABS

STRUCTURAL NOTES

1. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE... [Structural requirements and notes]

ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA ELECTRICAL CODE... [Electrical system requirements]

MECHANICAL & PLUMBING NOTES

1. ALL MECHANICAL AND PLUMBING WORK SHALL COMPLY WITH THE 2022 CALIFORNIA MECHANICAL AND PLUMBING CODE... [MEP system requirements]

APPLICABLE CODES

ALL NEW WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES TO THE LATEST RELEASE... [List of applicable codes]

PROJECT INFORMATION

PROPERTY	VALUE
ADDRESS	4025 169TH ST, LAWDALE, CA 90260
OWNER	AWAD INVESTMENTS, LLC
DATE	08/23/2023

BUILDING DEPARTMENT NOTES

THE ISSUANCE OF A BUILDING PERMIT SHALL NOT PROHIBIT THE BUILDING OFFICIAL FROM... [Building department specific requirements]

DEPUTY INSPECTIONS

1. ALL ENGINEERS REFERRED TO IN THIS SET OF PLANS SHALL BE REGISTERED PROFESSIONAL ENGINEERS... [Deputy inspection requirements]

STATE REQUIREMENTS

ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA ELECTRICAL CODE... [Summary of state requirements]

DEFERRED SUBMITTAL

DEFERRED SUBMITTAL SHALL BE PROVIDED FOR THE FOLLOWING BUILDING COMPONENTS... [Deferred submittal requirements]

PROJECT DIRECTORY

NAME	PHONE	EMAIL
AWAD INVESTMENTS, LLC	(424) 455-4811	awad@awadinvestments.com
ICON & IKON INC.	(424) 455-4811	info@iconarc.com

ENERGY CODE

PARAMETER	VALUE
ENVELOPE U-Factor	0.15 W/(m²K)
GLAZING U-Factor	1.0 W/(m²K)

ARIEL MAP



STATE REQUIREMENTS

AT THE TIME OF RECORDING, CONTRACTOR SHALL SUBMIT AND REGISTER WITH THE CALIFORNIA ENGINEERING BOARD... [Detailed state requirements and registration info]

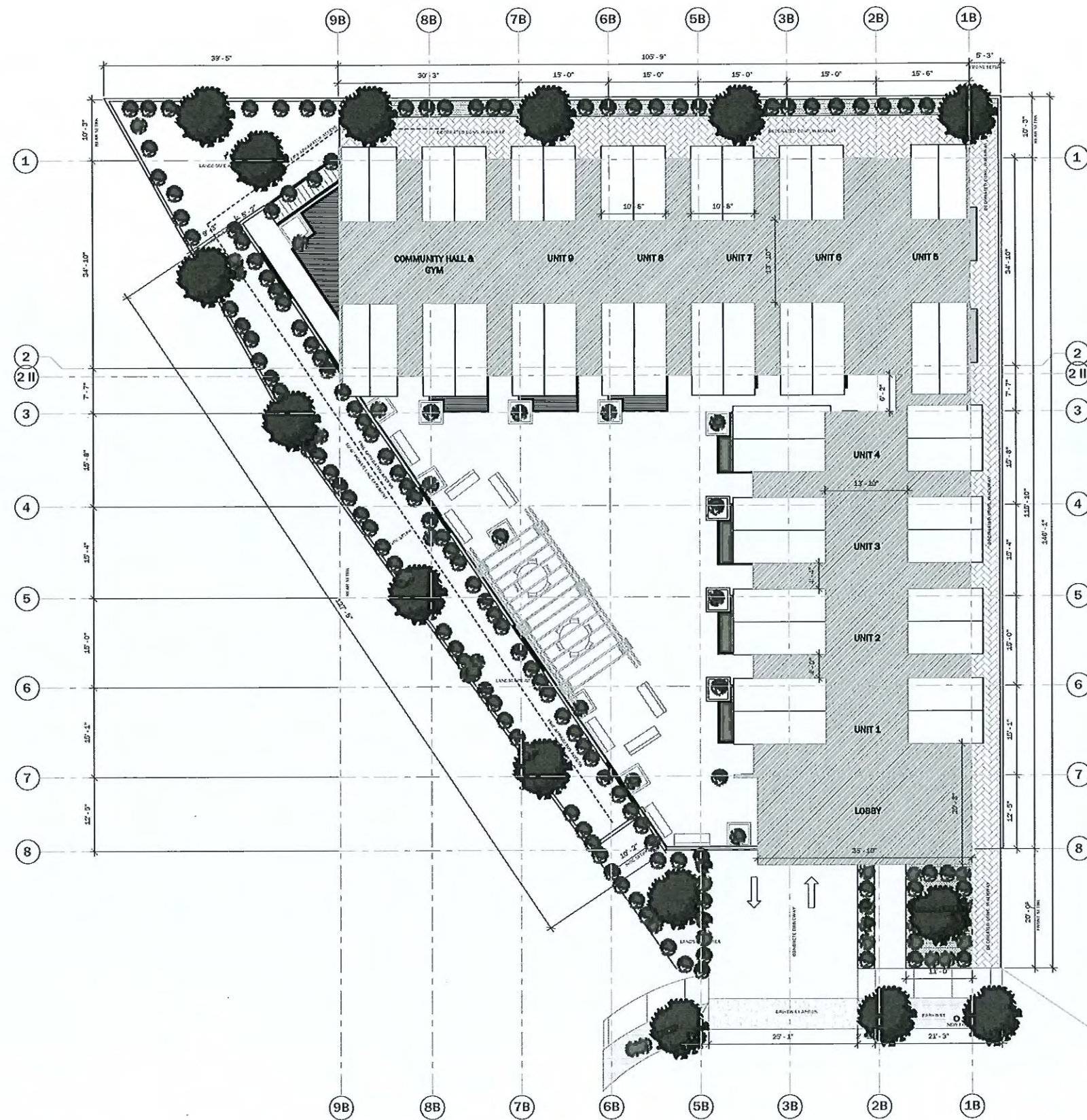
DEFERRED SUBMITTAL

DEFERRED SUBMITTAL SHALL BE PROVIDED FOR THE FOLLOWING BUILDING COMPONENTS... [Detailed deferred submittal requirements]

REVISION

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMITS
2		REVISED PER COMMENTS

DRAWN BY: LM
CHECKED BY: LM
PRINTED ON: AUG. 29TH, 2023
PERMIT NO.: SPR-2345
TITLE: PROJECT STATISTICS SHEET
SHEET NUMBER: A-001
PRELIMINARY DRAWING NO.: SPR-23-05



- ### SITE PLAN SYMBOLS
- 1. WATER METER
 - 2. GAS METER
 - 3. 200 AMP 225 208V SINGLE PHASE ELECTRIC METER WITH UNDERGROUND SERVICE
 - 4. METER ON SOLAR BASED AUTOMATIC EVAPORATION CONTROLLER
 - 5. AREA OF PROPOSED BUILDING
 - 6. NEW STAMPED CONCRETE WITH SMOOTH CEMENT FINISH
 - 7. LANDSCAPE AREAS: ALL PLANTED AREAS SHALL BE INSTALLED WITH 10" OF TOPSOIL AND 10" OF SUBSTRATE PLANTS AND GRASSING SOIL.
 - 8. 6" THICK CURB WALL 8" HIGH AT PROPERTY LINE
 - 9. PROPERTY LINE
 - 10. APPROVED FIRE APPROVED FREIGHTS ACCESS WALL THAT LEANS FROM THE FIRE DEPARTMENT ACCESS ROAD TO ALL REQUIRED OPENINGS IN THE BUILDING EXTERIOR WALLS
 - 11. 8" WIDE COLORED CONC. WALKWAY
 - 12. 2" X 4" X 8" G.I. TRUSS ENCLOSURE
 - 13. NEW CONC. SIDEWALK PER 1" X 1" STANDARD
 - 14. EXISTING CONC. SIDEWALK PER 1" X 1" STANDARD AS APPROVED BY A.P.D.
 - 15. 8" THICK EQUIPPED COLORED CONC. 6" THICK BASE AT DRIVEWAY
 - 16. DRIVE
 - 17. 8" THICK EXTERIOR STEEL WITH TYPICAL FINISH
 - 18. EXISTING FIRE DEPARTMENT FIRE HYDRANT (WAS 300' FROM PROPERTY LINE FIRE DEPT. 812)
 - 19. 24" X 48" PLUMBING SINKS RIGHT ENDUCED IN CONC. PER ADA 508.
- ### SYMBOLS NOTES
- ALL WORK DONE ON PUBLIC RIGHTS-OF-WAY SHALL BE DONE PER CITY PUBLIC WORKS STANDARDS.
 ALL WORK IN THE PUBLIC RIGHTS-OF-WAY SHALL REQUIRE SEPARATE PERMIT FOR ALL WORK.
 ALL UTILITIES, ELECTRICAL, GAS, WATER, TELEPHONE AND CABLE TELEVISION TO BE UNDERGROUND.
 CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES.
 CONTACT THE CITY ENGINEER FOR ANY EXAMINATION OF TRENCHING. 38555222523
- ### PUBLIC WORKS REQUIREMENTS
- A CONSTRUCTION AND DEMOLITION PERMIT (CAL PERM) IS REQUIRED FROM THE COUNTY DEVELOPMENT DEPARTMENT. EXISTING PERMIT AND RECORDS DESIGN FOR ANY WORK IN THE PUBLIC RIGHTS-OF-WAY.



ICON & IKON INC.
 ARCHITECTS AND PLANNERS
 16623 HAWTHORNE BLVD STE. 309
 LAWDALE, CALIFORNIA 90260
 TEL: (326) 455-4311
 WWW.ICONARC.COM



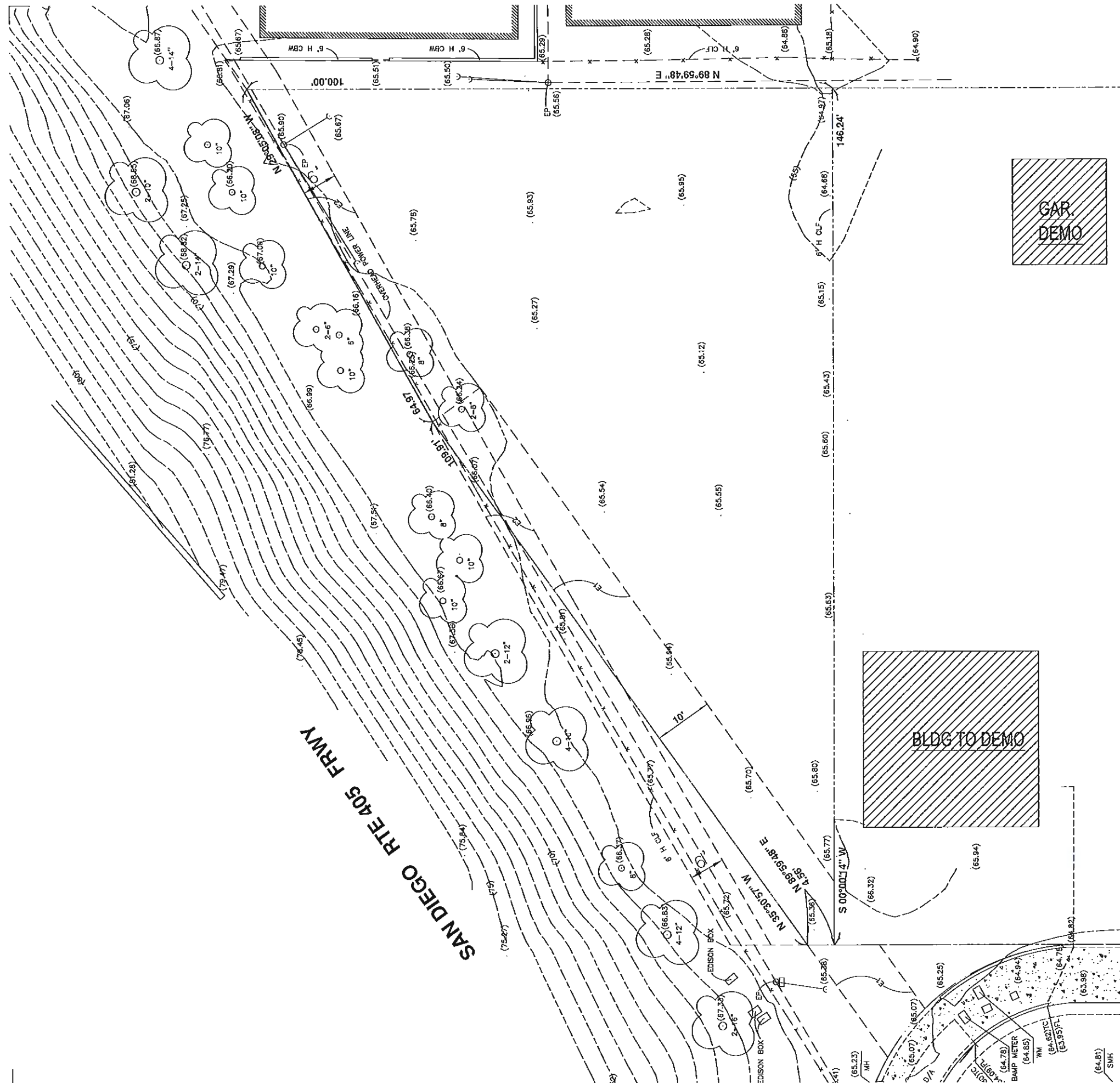
OWNER / TENANT
AVARD INVESTMENTS, LLC.
 11515 29TH AVE.
 HAWTHORNE, CA 91333

ONE SIX NINE LEGACY
4025 169TH ST
LAWDALE, CA 90260

PROJECT TITLE: _____
 PROJECT ADDRESS: _____

REVISION NO.	DATE	DESCRIPTION

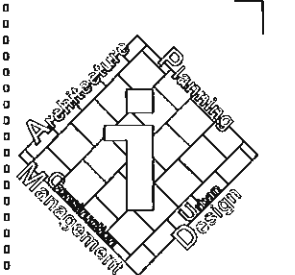
DRAWN BY: LM
 CHECKED BY: LM
 PRINTED ON: JULY 24TH, 2023
 PERMIT NO.: _____
 TITLE: **SITE / PLOT PLAN**
 SHEET NUMBER: **A-101**
 PRELIMINARY DRAWING
 SPR-23-05



DEMOLITION PLAN NOTES

- REGULATORY REQUIREMENTS:**
- CONFORM TO APPLICABLE LOCAL CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL AND SLUFF CONTROL.
 - OBTAIN REQUIRED PERMITS AND LICENSES FROM AUTHORITIES. PAY ASSOCIATED FEES INCLUDING DISPOSAL CHARGES.
 - NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
 - DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS OR HYDRANTS WITHOUT PERMITS.
 - CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN DISCOVERING HAZARDOUS OR CONTAMINATED MATERIALS.
 - NOTIFY OWNER AND CITY IMMEDIATELY IF BURIED TANKS ARE ENCOUNTERED.
- JOB CONDITIONS:**
- STRUCTURES TO BE DEMOLISHED SHALL BE DISCONTINUED IN USE AND VACATED PRIOR TO START OF WORK.
 - OWNER ASSUMES NO RESPONSIBILITY FOR CONDITION OF STRUCTURES TO BE DEMOLISHED.
 - CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. VARIATIONS WITHIN STRUCTURES MAY OCCUR BY OWNER REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
 - EXPLOSIONS SHALL NOT BE BROUGHT TO SITE OR USED WITHOUT WRITTEN CONSENT OF AUTHORITIES HAVING JURISDICTION. SUCH WRITTEN CONSENT WILL NOT RELIEVE CONTRACTOR OF TOTAL RESPONSIBILITY FOR INJURY TO PERSONS OR FOR DAMAGE TO PROPERTY DUE TO BLASTING SHALL COMPLY WITH GOVERNING REGULATIONS.
- PREPARATION:**
- REMOVE EXISTING LANDSCAPING MATERIALS, APPLIANCES AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED. REPAIR DAMAGE CAUSED BY DEMOLITION OPERATIONS AT NO COST TO OWNER.
 - PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
 - MARK LOCATION OF UTILITIES. PROTECT AND MAINTAIN IN SAFE AND OPERABLE CONDITION THE UTILITIES TO REMAIN. PREVENT INTERRUPTION OF EXISTING UTILITY SERVICES OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES.
- DEMOLITION REQUIREMENTS:**
- CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES OR FURNISHMENTS.
 - CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
 - CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS. MAINTAIN ACCESS AND EGRESS AT ALL TIMES.
 - OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNERS WHEN DEMOLITION EQUIPMENT WILL TRAVERSE, INFRINGE UPON OR LIMIT ACCESS TO THEIR PROPERTY.
 - SPRINKLE WORK WITH WATER TO MINIMIZE DUST. PROVIDE HOSES AND WATER CONNECTIONS FOR THIS PURPOSE.
 - COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 - CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO START OF WORK.
- PROTECTION:**
- LOCATE AND IDENTIFY EXISTING UTILITIES THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE.
 - PROTECT TREES, PLANT GROWTH AND FEATURES DESIGNATED TO REMAIN AS FINAL LANDSCAPE.
 - CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES AND FACILITIES. MAINTAIN ACCESS AND EGRESS AT ALL TIMES AND CLEAN OR GRUBB ANY ROADWAYS DAILY OR AS REQUIRED BY THE GOVERNING AUTHORITY. AT SUCH TIMES AS DEEMED NECESSARY BY THE OWNER, DUST CONTROL, SHALL BE PROVIDED WITH SPRINKLING SYSTEMS OR EQUIPMENT PROVIDED BY THE CONTRACTOR.
 - PROTECT BENCH MARKS, PROPERTY CORNERS AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DISAPPOINTMENT. IF A MARKER NEEDS TO BE REMOVED IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND REPLACED, AS NECESSARY, BY THE SAME.
 - PROVIDE TRAFFIC CONTROL AS REQUIRED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF LATEST TRAFFIC CONTROL DEVICES AND THE STATE HIGHWAY DEPARTMENT REQUIREMENTS.
 - CLEAR AREAS REQUIRED FOR ACCESS TO SITE AND EXECUTION OF WORK.
 - CLEARING TO BE PERFORMED IN ACCORDANCE WITH SOILS REPORT.
 - UNLESS OTHERWISE INDICATED ON THE DRAWINGS, REMOVE TREES, SHRUBS, GRASS, OTHER VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION. REMOVAL INCLUDES EXISTING OUT BUILDINGS AND ROOTS. DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS ARE TO BE FILLED TO SUBGRADE ELEVATION TO ADVISORY WATER POUNDING SATISFACTORY FILL MATERIAL SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 8 INCHES LOOSE DEPTH AND THOROUGHLY COMPACTED PER ALL REQUIREMENTS.
 - REMOVE GRASS TREES, PLANT LIFE, STUMPS AND ALL OTHER CONSTRUCTION DEBRIS FROM THE SITE TO A DUMP SITE THAT IS SUITABLE FOR HANDLING SUCH MATERIAL ACCORDING TO STATE LAWS AND REGULATIONS.
- ASBESTOS REPORT:**
- PROVIDE ASBESTOS REPORT TO CITY PRIOR TO OBTAINING PERMIT BEING ISSUED.

PROPOSED DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



Ikon & Ikon
14623 Hawthorne Blvd, #305
Lawndale, California 90263
Ph. 310-433-4020
www.ikonarc.com
CONSULTANTS

REVISIONS

NO.	DATE	DESCRIPTION

AWAD INVESTMENT, LLC
DEVELOPER
11986 PRAIRIE AVE
HAWTHORNE, CA 90250
PROJECT ADDRESS
AWAD HOMES
4019-25 W. 169TH STREET
LAWDALE, CA 90260

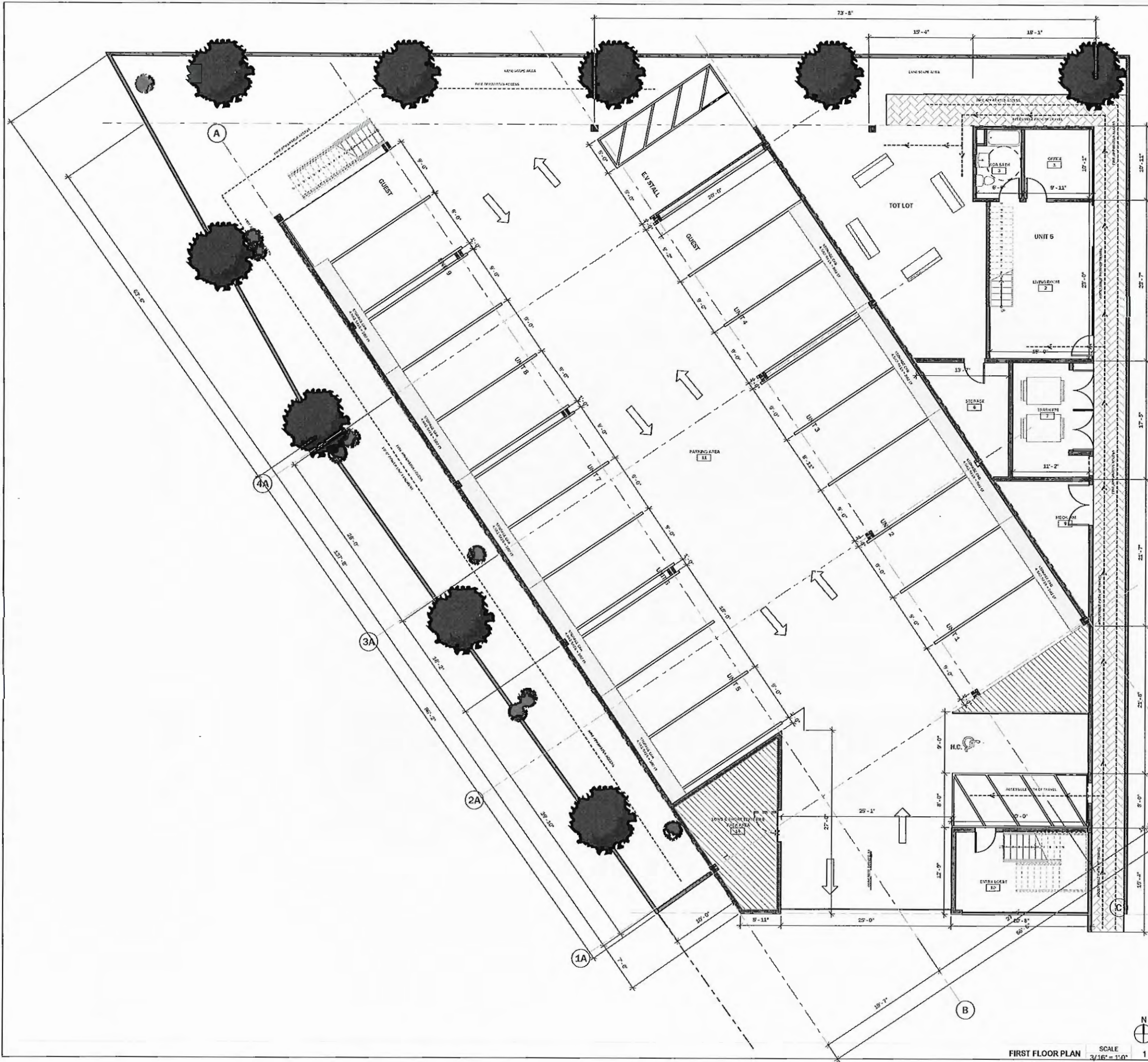


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PRINTED ON: MAY 3, 2018
JOB #
SHEET #

A-1.2

SPR 18-02



WALL SYMBOLS LEGEND

- 1. 2" MIN. EXTERIOR PARTY / UNIT SEPARATION WALL WITH 3" LYP STUDS @ 16" O.C. STUCCOED & PAINTED OUTSIDE WITH 2" MIN. INSULATION AND 1/2" TYPE 'X' GYPSUM BOARD INSIDE AND 1/2" TYPE 'X' GYPSUM BOARD INSIDE AND 1/2" TYPE 'X' GYPSUM BOARD INSIDE.
- 2. 2" O.C. STUCCOED EXTERIOR WITH 2" O.C. STUDS WALL BOARD BY STUDS SIDE AND 1/2" TYPE 'X' GYPSUM BOARD INSIDE AND 1/2" TYPE 'X' GYPSUM BOARD INSIDE.
- 3. 2" O.C. STUCCOED EXTERIOR WITH 2" O.C. STUDS WALL BOARD BY STUDS SIDE AND 1/2" TYPE 'X' GYPSUM BOARD INSIDE AND 1/2" TYPE 'X' GYPSUM BOARD INSIDE.
- 4. EXTERIOR FINISH PER EXTERIOR ELEVATIONS.



ICON & IKON INC.
 ARCHITECTS AND PLANNERS
 14222 HAWTHORNE BLVD STE. 305
 LAWDALE, CA 90260
 TEL: (310) 149-7444
 WWW.ICONARC.COM



OWNER / TENANT
AWARD INVESTMENTS, LLC.
 11115 FORTIA AVE.
 LAWDALE, CA 90260

ONE SIX NINE LEGACY
 4025 169TH ST
 LAWDALE, CA 90260

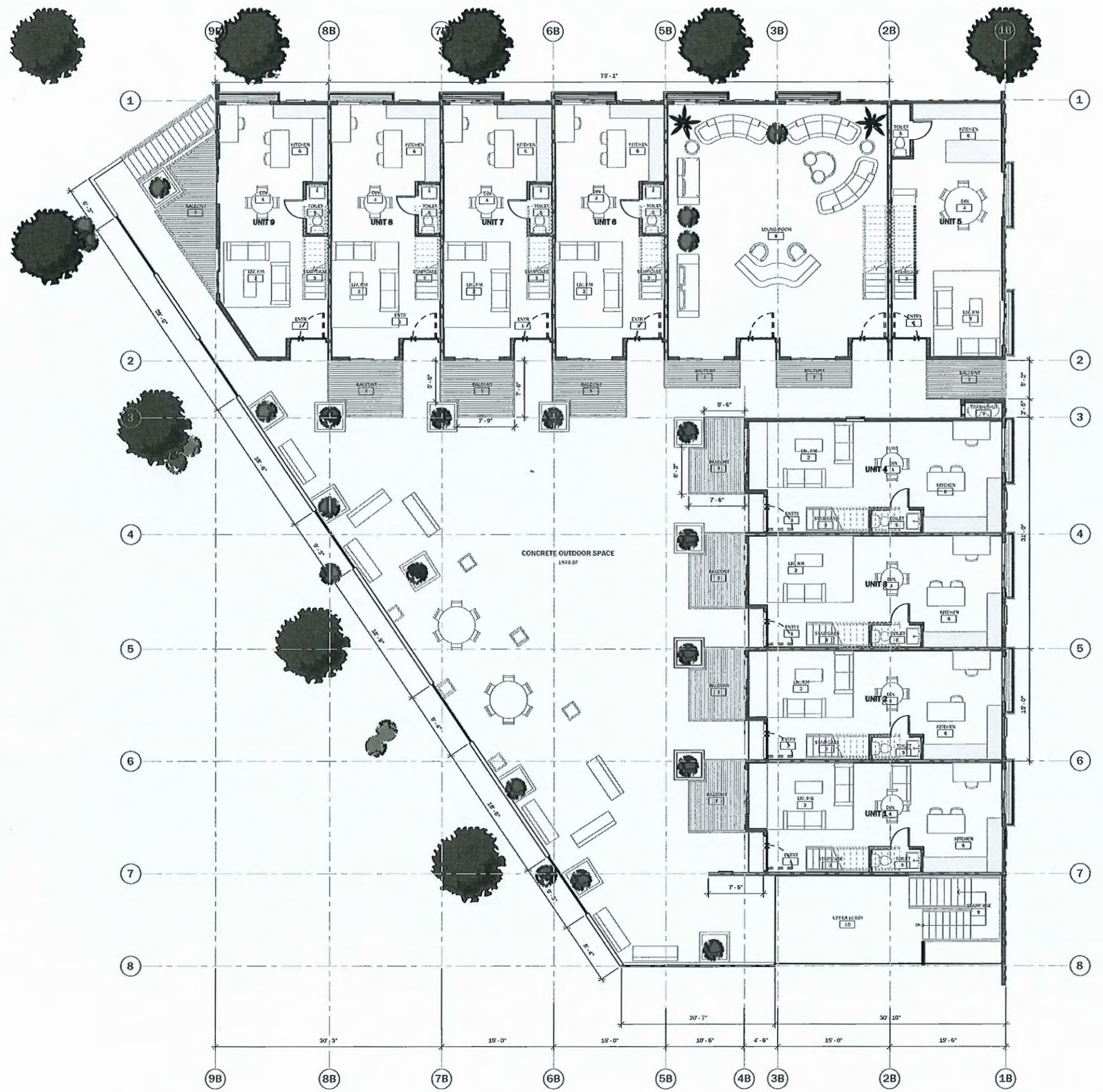
PROJECT TITLE

REVISION	DATE	DESCRIPTION
01	07/20/23	SITE PLAN REVIEW
02	07/20/23	EXTRA CORRECTION

DRAWN BY: LM
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 PRINTED ON: AUG. 23RD, 2023
 PERMIT NO.: SPR-23-65

TITLE
FIRST FLOOR DIMENSION
 SHEET NUMBER
A-301
 PRELIMINARY DRAWING
 SPR-23-65

FIRST FLOOR PLAN SCALE 3/16" = 1'-0"



- WALL SYMBOLS LEGEND**
- 1 1/2" FIRE RATED PARTI / UNIT SEPARATION WALL WITH 3/4" STILES @ 12" O.C. ENCASED IN PLASTER FINISH WITH 1/2" GYPSUM BOARD AND FIN. LUSTRE 5. BY TYPE 'C' EXPOSED WALL 3/4" WIDE AND 1/2" F. FIBERGLASS CHANNEL AND 1/2" TYPE 'C' EXPOSED WALL AT OPPOSITE SIDE.
 - 2 1/2" EXTERIOR BRICK WALL WITH 1/2" GYPSUM BOARD AT INTERIOR SIDE AND FIN. F. PLASTER CONCRETE STUDY AT 1/2" WIRE MESH OVER EXTERIOR SLEAKING WRAP OVER PLASTER.
 - 3 2" x 4" PLUMBING WALL WITH FIN. S. P. PAINT/POFF 6" STYLISH WALL BOARD AT INTERIOR SIDE.
 - 4 2" x 4" STYLISH WALL @ 12" O.C. WITH FIN. S. P. PAINT/POFF 6" STYLISH WALL BOARD AT INTERIOR SIDE.
 - 5 EXTERIOR FINISH FOR EXTERIOR ELEVATIONS.



ICON & IKON INC.
 ARCHITECTS AND PLANNERS
 14923 HAWTHORNE BLVD STE. 300
 LAWDALE, CALIFORNIA 90250
 PH. (424) 458-4511
 WWW.ICONANDIKON.COM



OWNER / TENANT
AWARD INVESTMENTS, LLC.
 11545 AVA DRIVE #100
 LAWDALE, CA 90250

ONE SIX NINE LEGACY
4025 169TH ST
LAWDALE, CA 90260

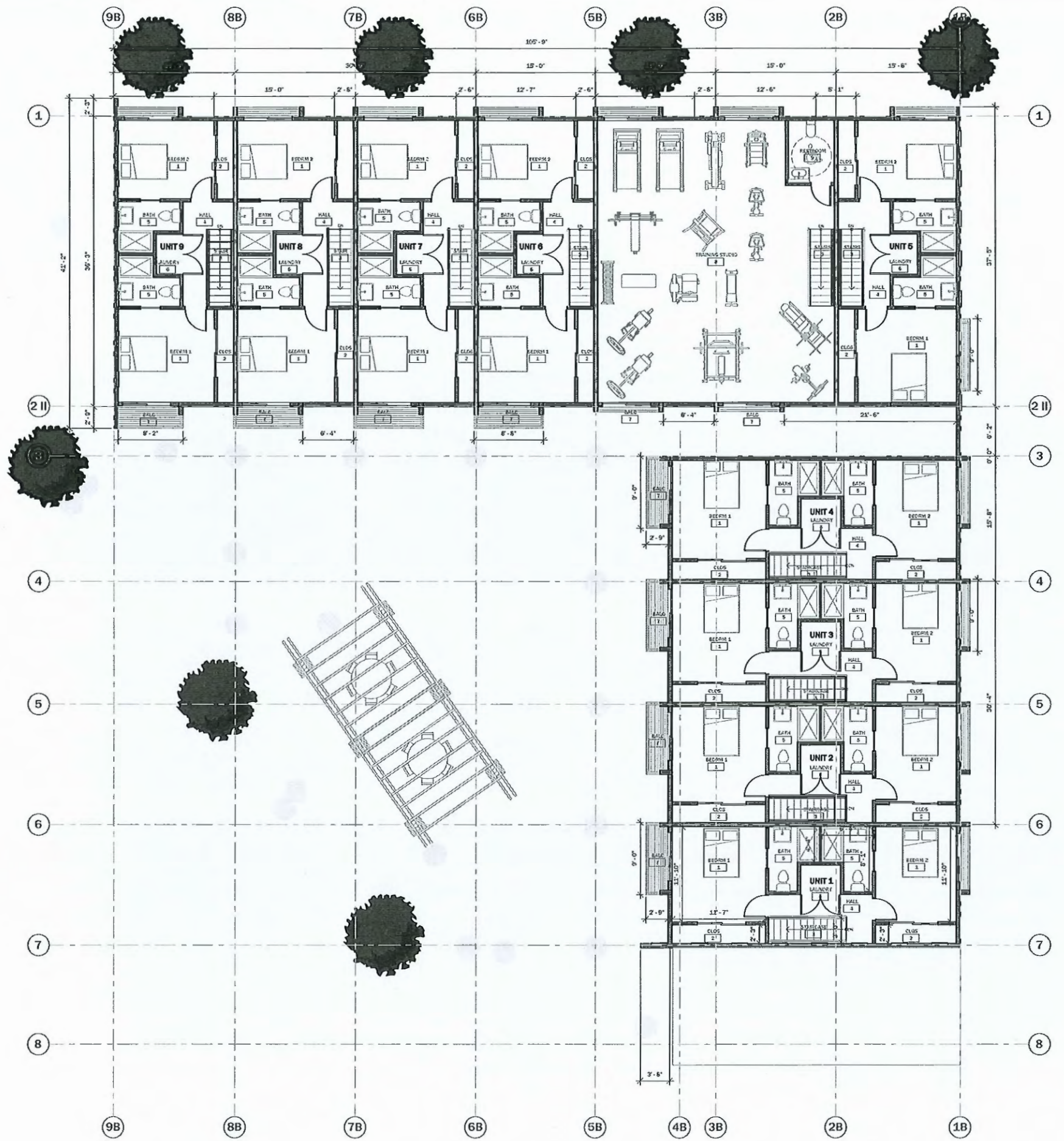
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NO.	DATE	DESCRIPTION
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2		REVISION
3		REVISION

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TITLE
SECOND FLOOR DIMENSION
 SHEET NUMBER
A-302
 PRELIMINARY DRAWING

SECOND FLOOR PLAN SCALE 3/16" = 1'-0" 1



WALL SYMBOLS LEGEND

- 1. 1/2" FIRE RATED PARTI AND SEPARATION WALL WITH 3/4" ST. STEEL ENCLOSED IN PLATE BOLTS TO FLOOR AND BATH WALLS WITH 3/4" ST. STEEL TO CEILING WALL 1 SIDE AND 1/2" ST. REINFORCED CHANNEL AND 3/4" ST. TYPE 'N' STUDS TO OPPOSITE SIDE.
- 2. 1/2" EXTERIOR EXTERIOR WALL WITH 1/2" CONCRETE WALL BOARD AS INTERIOR SIDE AND 1/2" PORTLAND CEMENT STUDS WITH 1/2" WIRE MESH OVER EXTERIOR SIDE.
- 3. 2" x 4" PLUMBING WALL WITH 1/2" ST. STEEL FLOOR SYSTEM WALL BOARD AT 1/2" AREA SIDE. PARTIAL WITH 1/2" ST. BATH WALL BOARD.
- 4. 1/2" x 4" ST. WALL WITH 1/2" ST. STEEL WALL BOARD AT 1/2" AREA SIDE.
- 5. EXTERIOR FINISH FOR EXTERIOR ELEVATIONS.



ICON & IKON INC.
 ARCHITECTS AND PLANNERS
 14923 HAWTHORNE BLVD STE. 306
 LAWDALE, CALIFORNIA 90250
 PH: (424) 458-6811
 WWW.ICONARC.COM



OWNER / TENANT
AWARD INVESTMENTS, LLC.
 15155 AVALON AVE.
 VAN NUYS, CA 91411

ONE SIX NINE LEGACY
 4025 169TH ST
 LAWDALE, CA 90260

PROJECT TITLE
 PROJECT ADDRESS

REVISION NO.	DATE	DESCRIPTION
1	8/29/23	ISSUE FOR PERMIT
2		FOR CONSTRUCTION

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 PERMIT NO: SPR-23-45

TITLE
THIRD FLOOR DIMENSION

SHEET NUMBER
A-303
 PRELIMINARY DRAWING

ELEVATION KEY NOTES

- 301 FLOORING
- 302 SOIL ROOF - 24 IN SPRING GAUGE LAMINATE ARCHITECTURAL ROOFING SINGLE CLASS 'F' WITH
- 303 ESTIMATE OVER PLUMBING SHIMMING OVER 24 HOUR FLOORING. REFER TO STRUCTURE DRAWING FOR
- 304 INFORMATION. SEE SCHEDULE 302
- 305 LIGHTWEIGHT ENCLAVE'S SHARP CONCRETE ROOF FLEET. 20# FELT PAPER INSTALLED PER MANUF.
- 306 22 GAUGE CERATED METAL PAN ROOFING. REFER TO: PLUMBING
- FACIA
- 307 24 FIBER BOARD INSTALLED WITH 3/8" X 3" HITE DIPPED GALVANIZED NAILS 8" EACH JOIST.
- 308 1" X 3" MOULD BRASS FACIA
- FINISHES
- 309 EXTERIOR WALL FINISH - THREE COAT STUCCO OVER 1/2" FIN FIBER WITH 20# 50 FINISH INSTALLED OVER WIRE
- 310 MESH OVER FIVE WATERPROOF BUILDING PAPER OVER PLUMBING SHIMMING PER STRUCTURAL PLAN. STUCCO
- 311 COLOR CODE BY S&S, AND APPLIED BY CONTRACTOR PRIOR TO INSTALLATION.
- 312 EXTERIOR WALL FINISH - 4" X 8" ARABIAN SAND 50# LAF FIBER BOARD INSTALLED OVER THREE POLYMEMO
- 313 BUILDING PAPER OVER PLUMBING SHIMMING PER STRUCTURAL DRAWING.
- 314 EXTERIOR WALL FINISH - 12" X 6" SQUARED (MAXIMUM) OF BROWN SERRATION STUCCO (PREFERABLY) / FINISH.
- 315 30#
- 316 EXTERIOR WALL FINISH - 24" X 8" PERFORATED TILE @ BROWN SERRATION STUCCO OVER FINISH. 18" MAXIMUM
- 317 SPACED.
- 318 EXTERIOR WALL FINISH - THIN BRICK VENEER OVER EXISTING STUCCO. BRICK OVER FINISH. 18" MAXIMUM
- 319 BUILDING PAPER OVER PLUMBING SHIMMING.
- 320 EXTERIOR WALL FINISH - POLYMER BLEND STUCCO OVER 1/2" FIN FIBER OVER EXISTING STUCCO. BRICK
- 321 OVER FINISH. 18" MAXIMUM SPACING. BRICK OVER FINISH. 18" MAXIMUM SPACING. BRICK OVER FINISH.
- 322 22 GAUGE CERATED METAL PAN. REFER TO: PLUMBING
- 323 4" X 6" BRICK VENEER SCREEN
- SCREEN / WINDOW SYSTEMS
- 324 WINDOW PER WINDOW SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- 325 DOOR PER DOOR SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- 326 2" X 4" SELF FLASHING STAINLESS STEEL. 1/4" HOLLOW BRICK. INSTALLED PER MANUF. SPEC.
- 327 3/4" X 3/4" SELF FLASHING STAINLESS STEEL. 1/4" HOLLOW BRICK. INSTALLED PER MANUF. SPEC.
- CONCRETE
- 328 CONCRETE SLAB / FOUNDATION PER STRUCTURAL DRAWING. REFER TO FOUNDATION PLAN NOTES AND DETAILS FOR
- 329 ADDITIONAL INFORMATION.
- 330 CONCRETE FOOTING PER FOUNDATION PLAN. REFER FOUNDATION PLAN NOTES AND DETAILS FOR ADDITIONAL
- 331 INFORMATION.
- PERICULOUS
- 332 FLOOR FINISH - 4" X 6" UNIT - PERFORM GAB WALL AND LEAK TEST. SEE SCHEDULE 302
- 333 WALL ROOF ACCESS LADDER
- 334 FINISH WALL WITH 22 GAUGE METAL CAP
- 335 1/4" X 1/4" BRICK VENEER 18" X 8" U.L.C. PAINT FINISH
- 336 18" X 18" BRICK VENEER OVER EXISTING STUCCO PER MANUF. SPEC.
- 337 INSULATED ROOF - UNDER ROOF FLOOR FINISH. PER MANUF. SPEC.
- 338 EXTERIOR LIGHTING - ARCHITECTURAL / INTERIOR STYLISH WALL PACK EXTERIOR LIGHTING. REFER TO ELECTRICAL
- 339 PLAN FOR ADDITIONAL INFORMATION.
- 340 STAIRWELL - 18" X 18" BRICK VENEER LADDER. INSTALLED AT 42" HIGH MAX. W/ STAINLESS STEEL. THE 304 1/4" X 1/4"
- 341 SQUARE PER PERMANENT LADDER BY PERMANENT.
- 342 STAIRWELL - SOLID LEM WALL - 4" X 4" METAL BRACK 24" MAXIMUM. SMOOTH STUCCO FINISH
- 343 BOOF BRACK - SOLID LEM WALL - 4" X 4" METAL BRACK 24" MAXIMUM. SMOOTH STUCCO FINISH
- 344 ARCHITECTURAL TREATMENT - ARCHITECTURAL PROTECTION. SEE PLAN & ELEV. PLAN
- 345 ARCHITECTURAL TREATMENT - ARCHITECTURAL PROTECTION. SEE PLAN & ELEV. PLAN
- EXTERIOR COLORS / FINISHES
- 346 STUCCO IN WALLS EXTERIOR FINISH - EN 7000 - FINGER SAND - 60% S&S OR 60% S&S/40%
- 347 STUCCO IN WALLS EXTERIOR FINISH - EN 7000 - WHITE FINISH - 60% S&S OR 60% S&S/40%
- 348 STUCCO IN WALLS EXTERIOR FINISH - EN 7000 - WHITE FINISH - 60% S&S OR 60% S&S/40%
- 349 STUCCO IN WALLS EXTERIOR FINISH - EN 7000 - PLATE WHITE - 60% S&S OR 60% S&S/40%
- 350 STUCCO IN WALLS EXTERIOR FINISH - EN 7000 - PLATE WHITE - 60% S&S OR 60% S&S/40%
- 351 STUCCO IN WALLS EXTERIOR FINISH - EN 7000 - PLATE WHITE - 60% S&S OR 60% S&S/40%
- 352 STUCCO IN WALLS EXTERIOR FINISH - EN 7000 - PLATE WHITE - 60% S&S OR 60% S&S/40%

EXTERIOR ELEVATION NOTES

1. CONTRACTOR TO ESTABLISH AND VERIFY BASE EXTERIOR FINISH EXPOSED TO THE WEATHER SHALL BE FINISHED IN SUCH A MANNER AS TO MAKE THEM WEATHER PROOF PER C.E.C. SECTION 05120. FINISHING.
2. REFER TO SHOP DRAWINGS AND DOOR AND WINDOW SCHEDULE FOR TOPPED GLAZING LOCATIONS AND REQUIREMENTS.
3. PROVIDE USE PROOF MARKING AS LIGHTING PENETRATION LOCATION. REFER TO 'ELECT' PLAN FOR LIGHTING AND ADDITIONAL INFORMATION.
4. ALUMINUM WALLS AND GARDENS SHALL BE MADE OF NON-REFLECTIVE FINISH PER MANUF. SPEC.
5. APPLY WATER RESISTANT BARRIER OVER ALL EXPOSED EXTERIOR FINISHES. SEE PLAN & ELEV. PLAN.
6. ALL SPECIFICATIONS TO HAVE 90 DEGREE CORNERS.
7. PROVIDE A TYPICAL BRICK AT SECTION OF THE FINISHED WALLS COLORS FOR THE FINISHED OWNER TO REVIEW / APPROVE PRIOR TO FINISHING THE EXTERIOR BUILDING.



NORTH ELEVATION SCALE 3/16" = 1'-0" 1



EAST ELEVATION SCALE 3/16" = 1'-0" 2



ICON & IKON INC.
ARCHITECTS AND PLANNERS
14622 HAYTHORNE BLVD STE. 306
LAWNDALE, CALIFORNIA 90260
PH: (424) 456-4811
WWW.ICONARC.COM

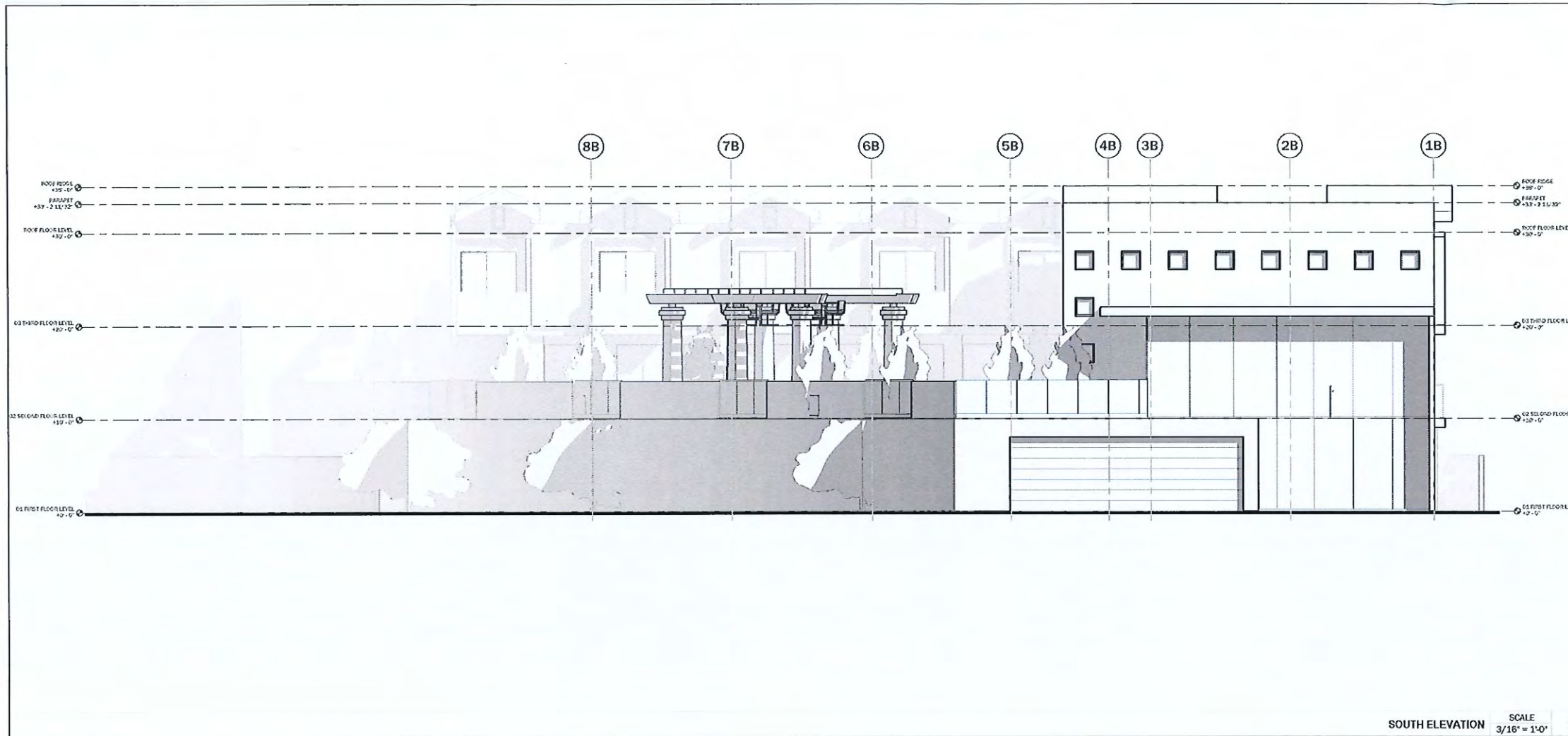


OWNER / TENANT
AWARD INVESTMENTS, LLC.
1188 PARKER AVE
HART HOUSE, CA 91319

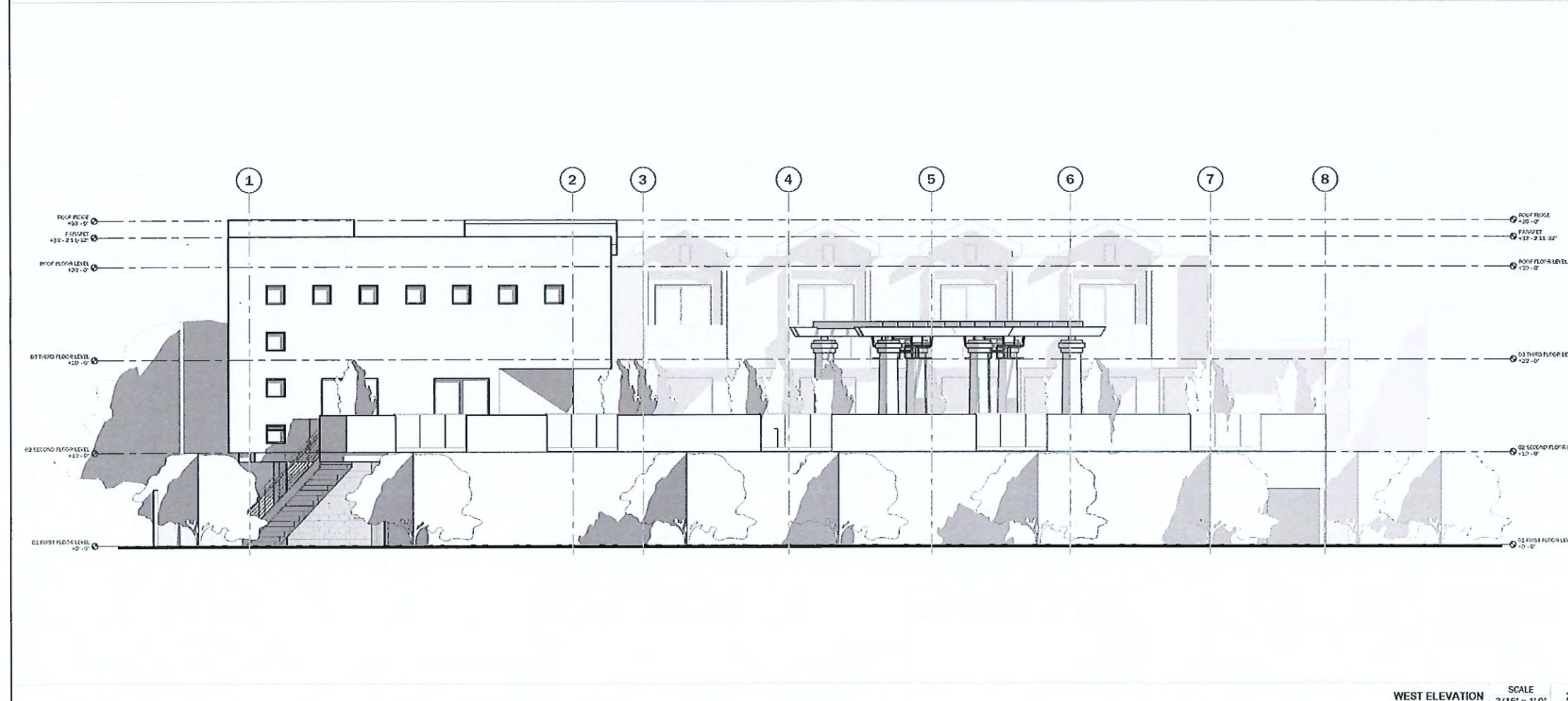
ONE SIX NINE LEGACY
4025 169TH ST
LAWNDALE, CA 90260

REVISION NO.	DATE	DESCRIPTION
01	07/14/23	SITE PLAN REVIEW
02	08/22/23	EXPIRE CORRECT

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CHECKED BY: EM
PRINTED ON: AUG. 29TH, 2023
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TITLE: NORTH / EAST ELEVATION
SHEET NUMBER: A-801
PRELIMINARY DRAWING



SOUTH ELEVATION SCALE 3/16" = 1'-0" 1



WEST ELEVATION SCALE 3/16" = 1'-0" 2

- ### ELEVATION KEY NOTES
174. EXISTING
- ROOFING
- 311. EXIST. ROOF - CHINA CLAYING GAMBRE LAMINATE METASTRUCTURE ROOFING SHINGLE CLASS "F" TYPE 4 FELT OVER OVER PLASTIC SHEETING OVER 2x4 WOOD FRAMING REFER TO STRUCTURAL DRAWINGS FOR 1/4" MIN. MIN. GAMBRE 2025
 - 312. EXIST. ROOF - GAMBRE CONCRETE ROOF FLE: 204 FELT PAPER INSTALLED PER MANUF.
 - 313. 22 GAUGE CORRUGATED METAL PAN ROOFING @ 24" ON C. PLANKWOOD
- FASCS
- 200. 24 FASCS BOARD INSTALLED WITH 1/2" HITE RIPPED GALVANIZED 3/4" DIA. & 24" ON C.
 - 201. 1" X 4" MUDBOARD FASCS
- FINISHES
- 303. EXTERIOR WALL FINISH - 1/2" THICK CONCRETE BLOCKS 12" X 16" X 8" WITH 20# REBAR INSTALLED OVER 1/2" REIN OVER 1/2" WATERPROOF BUILDING PAPER OVER PLASTIC SHEETING REFER STRUCTURAL PLANS, STUDS COLOR BY 24" DIA. AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
 - 304. EXTERIOR WALL FINISH - 1/2" X 1/2" X 1/2" HARDBOARD OVER 1/2" FIBER CONCRETE BLOCKS INSTALLED OVER 1/2" POLYIMINO BUILDING PAPER OVER PLASTIC SHEETING REFER STRUCTURAL DRAWINGS.
 - 305. EXTERIOR WALL FINISH - 1/2" X 1/2" X 1/2" FIBER CONCRETE BLOCKS INSTALLED OVER 1/2" POLYIMINO BUILDING PAPER OVER PLASTIC SHEETING REFER STRUCTURAL DRAWINGS.
 - 306. EXTERIOR WALL FINISH - 1/2" X 1/2" X 1/2" FIBER CONCRETE BLOCKS INSTALLED OVER 1/2" POLYIMINO BUILDING PAPER OVER PLASTIC SHEETING REFER STRUCTURAL DRAWINGS.
 - 307. EXTERIOR WALL FINISH - 1/2" X 1/2" X 1/2" FIBER CONCRETE BLOCKS INSTALLED OVER 1/2" POLYIMINO BUILDING PAPER OVER PLASTIC SHEETING REFER STRUCTURAL DRAWINGS.
 - 308. EXTERIOR WALL FINISH - 1/2" X 1/2" X 1/2" FIBER CONCRETE BLOCKS INSTALLED OVER 1/2" POLYIMINO BUILDING PAPER OVER PLASTIC SHEETING REFER STRUCTURAL DRAWINGS.
 - 309. EXTERIOR WALL FINISH - 1/2" X 1/2" X 1/2" FIBER CONCRETE BLOCKS INSTALLED OVER 1/2" POLYIMINO BUILDING PAPER OVER PLASTIC SHEETING REFER STRUCTURAL DRAWINGS.
 - 310. EXTERIOR WALL FINISH - 1/2" X 1/2" X 1/2" FIBER CONCRETE BLOCKS INSTALLED OVER 1/2" POLYIMINO BUILDING PAPER OVER PLASTIC SHEETING REFER STRUCTURAL DRAWINGS.
 - 311. 22 GAUGE CORRUGATED METAL PAN @ 24" ON C. PLANKWOOD
 - 312. 4" X 8" DIMENSION SKEWERS
- DOOR / WINDOW SYSTEMS
- 300. WINDOW PER WINDOW SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION.
 - 301. DOOR PER DOOR SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION.
 - 302. 2" X 4" SELF FLASHING EXTERIOR GLAZING. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION.
 - 303. 1/2" X 1/2" SELF FLASHING EXTERIOR GLAZING. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- CONCRETE
- 600. CONCRETE SLAB / FLOORING PER STRUCTURAL DRAWINGS. REFER TO FOUNDATION PLANS NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
 - 601. CONCRETE FOOTING PER FOUNDATION PLAN. REFER FOUNDATION PLAN, NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
- FOUNDATION
- 600. FLOOR FINISH - 1/2" THICK CONCRETE SLAB OVER 4" THICK CONCRETE SLAB. REFER TO FOUNDATION PLANS FOR ADDITIONAL INFORMATION.
 - 601. FLOOR FINISH - 1/2" THICK CONCRETE SLAB OVER 4" THICK CONCRETE SLAB. REFER TO FOUNDATION PLANS FOR ADDITIONAL INFORMATION.
 - 602. PARAPET WALL WITH 22 GAUGE METAL CAP
 - 603. 2" X 4" REDWOOD TRIMMER @ 12" O.C. (PAINT FINISH)
 - 604. 1/2" X 1/2" ROOF ATTIC VENT INSTALLED PER MANUF. SPEC.
 - 605. FINISH ROOF - LINDA ROOF VENT INSTALLED PER MANUF. SPEC.
 - 606. EXTERIOR LIGHTING - REFER TO ELECTRICAL SCHEDULE AND DETAILS FOR ADDITIONAL INFORMATION.
 - 607. GUARDRAIL - 1/2" THICK WOOD METAL GUARDRAIL. INSTALLED AT 42" HIGH WITH 4" STAINLESS STEEL TYPED 304 & 1/2" SQUARE END POSTS. REFER TO ELECTRICAL SCHEDULE AND DETAILS FOR ADDITIONAL INFORMATION.
 - 608. GUARDRAIL - 1/2" THICK WOOD METAL GUARDRAIL. INSTALLED AT 42" HIGH WITH 4" STAINLESS STEEL TYPED 304 & 1/2" SQUARE END POSTS. REFER TO ELECTRICAL SCHEDULE AND DETAILS FOR ADDITIONAL INFORMATION.
 - 609. ROOF FINISH - 22 GAUGE CORRUGATED METAL PAN @ 24" ON C. PLANKWOOD
 - 610. ARCHITECTURAL TREATMENT - ARCHITECTURAL TREATMENT. REFER TO ARCHITECTURAL TREATMENT PLAN AND DETAILS FOR ADDITIONAL INFORMATION.
 - 611. ARCHITECTURAL TREATMENT - ARCHITECTURAL TREATMENT. REFER TO ARCHITECTURAL TREATMENT PLAN AND DETAILS FOR ADDITIONAL INFORMATION.
- EXTERIOR COLUMNS / FINISHES
- 601. EXTERIOR WALL FINISH - 1/2" THICK CONCRETE BLOCKS 12" X 16" X 8" WITH 20# REBAR INSTALLED OVER 1/2" REIN OVER 1/2" WATERPROOF BUILDING PAPER OVER PLASTIC SHEETING REFER STRUCTURAL PLANS, STUDS COLOR BY 24" DIA. AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
 - 602. EXTERIOR WALL FINISH - 1/2" THICK CONCRETE BLOCKS 12" X 16" X 8" WITH 20# REBAR INSTALLED OVER 1/2" REIN OVER 1/2" WATERPROOF BUILDING PAPER OVER PLASTIC SHEETING REFER STRUCTURAL PLANS, STUDS COLOR BY 24" DIA. AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
 - 603. EXTERIOR WALL FINISH - 1/2" THICK CONCRETE BLOCKS 12" X 16" X 8" WITH 20# REBAR INSTALLED OVER 1/2" REIN OVER 1/2" WATERPROOF BUILDING PAPER OVER PLASTIC SHEETING REFER STRUCTURAL PLANS, STUDS COLOR BY 24" DIA. AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
 - 604. EXTERIOR WALL FINISH - 1/2" THICK CONCRETE BLOCKS 12" X 16" X 8" WITH 20# REBAR INSTALLED OVER 1/2" REIN OVER 1/2" WATERPROOF BUILDING PAPER OVER PLASTIC SHEETING REFER STRUCTURAL PLANS, STUDS COLOR BY 24" DIA. AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.

- ### EXTERIOR ELEVATION NOTES
1. EXTERIOR TO BE FINISHED AND SET TO MATCH EXISTING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO BE MADE WEATHER PROOF FOR EACH SECTION (WALL, FLASHING).
 2. REFER TO UNIT FLOOR PLANS AND ROOM AND WINDOW SCHEDULE FOR TERRAZZO SLAB LOCATIONS AND REQUIREMENTS.
 3. PROVIDE WHITE PIGMENT BACKING AT LIGHTING PENETRATION LOCATIONS. REFER TO LIGHTING PLAN FOR LIGHTING AND ADDITIONAL INFORMATION.
 4. ALUMINUM BALCONY AND RAILINGS SHALL BE MADE NON-REFLECTIVE FINISH METAL.
 5. APPLY ANTI-GLAZING ON ALL EXPOSED EXTERIOR FINISHES, COORDINATE WITH ARCHITECT.
 6. PROVIDE A FINISH WINDOW SECTION OF THE FINISH FINISHES AT ALL LOCATIONS FOR THE ARCHITECT. OWNER TO REVIEW / APPROVE PRIOR TO FINISHING THE EXTERIOR BUILDING.



ICON & IKONA INC.
 ARCHITECTS AND PLANNERS
 1425 HAWTHORNE BLVD STE. 305
 LAWDALE, CALIFORNIA 90250
 TEL: (323) 456-4311
 WWW.ICONARCO.COM



OWNER / TENANT
ATWARD INVESTMENTS, LLC.
 11555 FAIRFAX AVE.
 HARTSDALE, CA 92523

ONE SIX NINE LEGACY
 4025 169TH ST
 LAWDALE, CA 90260

PROJECT TITLE

PROJECT ADDRESS

REVISION	
NO.	DESCRIPTION

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 PRINTED ON: AUG. 29TH 2023
 PERMIT NO: SPR-23-65

TITLE
SOUTH / WEST ELEVATION

SHEET NUMBER
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